

EASTTOWN TOWNSHIP

CHESTER COUNTY

Berwyn, Pa.

RULES AND REGULATIONS

DRIVEWAY REGULATIONS

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RULES AND REGULATIONS

DRIVEWAY REGULATION

Effective Date: October 23, 1971

EASTTOWN TOWNSHIP

DRIVEWAY ORDINANCE NO. 112

AN ORDINANCE PROVIDING FOR THE REGULATION OF THE DESIGN, LOCATION, CONSTRUCTION AND MAINTENANCE OF DRIVEWAYS IN THE TOWNSHIP, PROVIDING FOR THE PROMULGATION OF RULES AND REGULATIONS RELATING TO SAME, AND PROVIDING FOR ENFORCEMENT BY THE TOWNSHIP ENGINEER.

The Board of Supervisors of the Township of Easttown does hereby Enact and Ordain:

SECTION 1.1 Title. This Ordinance shall be known as the "Easttown Township Driveway Ordinance."

SECTION 1.2 Purpose. The purpose of this ordinance is to ensure the maintenance, location and alteration of driveways, in the township in a manner consistent with the safe use thereof, the safe and unobstructed flow of traffic on public highways, proper maintenance of such highways and proper control of surface drainage.

SECTION 2 Regulations. The Board of Supervisors does hereby promulgate regulations hereunder to serve as standards for the construction of driveways in the township. These regulations shall be kept in the possession of the Township Engineer at the office of the Township; copies shall be made available, upon request to members of public having reasonable need for them at a charge of \$1.00 per copy.

SECTION 3.1 Permits. After the effective date of this ordinance, no driveway shall be constructed or altered in the township without the obtaining of a permit by a responsible person connected with the construction, nor without the obtaining of any other authorization required by law. Alteration of a driveway shall mean its relocation or a material change in its grade affecting visibility, drainage or problems of highway maintenance. The permit fee shall be \$10.00.

SECTION 3.2 Application for Permit. Persons desiring a permit hereunder shall submit an application to the Township engineer along with plans and specifications for proposed construction or alteration.

SECTION 3.3 Review and Action by Township Engineer. The Township Engineer shall have the power to grant or deny applications hereunder. He shall review applications in light of the regulations promulgated hereunder, and shall apply the standards set forth therein in granting or denying applications.

SECTION 3.4 Denials. In the event of denial of an application, it shall be the duty of the Township Engineer to point out to the applicant the respects in which his application fails to meet the standards applicable, and to consider any revised applications.

SECTION 3.5 Variances. In exceptional cases where conformity to the standards imposed by regulations promulgated under this ordinance would be impossible or impracticable or would cause unreasonable expense or hardship, the Township Engineer shall be empowered to recommend, and the Board of Supervisors to grant, by resolution, variances from the literal provisions of such regulations upon terms and conditions consistent with the public interest and safety.

SECTION 3.6 Construction or alteration of driveways. No construction or alteration of driveways shall deviate from the plans and specifications submitted with the approved application.

SECTION 3.7 Supervision by Township Engineer. It shall be the duty of the Township Engineer to supervise and inspect all construction or alteration of driveways within the township to ensure conformity with township requirements.

SECTION 3.8 Building Permits. No building permit under the Township Building Code shall be issued for new construction requiring construction of a driveway until the provisions of this ordinance have also been complied with.

SECTION 4.1 Amendment of Regulations. The Board of Supervisors may amend the regulations promulgated hereunder from time to time.

SECTION 4.2 Effect of Amendments - Existing Permits. The effectiveness of a permit pursuant to which construction or alter-

ation has not yet in good faith been commenced shall be subject to any amendments to the regulations hereunder. Construction or alteration pursuant to such a permit must be performed conformably to any amendments to the regulations.

SECTION 5 Inconsistent Requirements. The provisions of this ordinance and the rules and regulations promulgated hereunder shall be held to be minimum requirements to meet the above stated purposes. Where such provisions impose restrictions inconsistent with those of any statute, or other ordinance or regulation, the more stringent requirements shall prevail.

SECTION 6.1 Penalty. Any person, firm, corporation, or other entity who or which shall fail to comply with any of the provisions of this ordinance or the rules and regulations adopted hereunder, shall be liable upon conviction before the proper authority for payment of a fine not exceeding \$300.00 together with costs of prosecution, or, in default of payment, shall be sentenced to imprisonment in the county jail for a period not exceeding 30 days. All such fines and penalties shall be paid to the Treasurer of the Township.

SECTION 6.2 Injunction. If the Township Engineer determines there may be a continuing violation of this ordinance and that the criminal remedy provided hereunder will not ensure compliance herewith, he shall, with the consent of the Board of Supervisors, report the same to the Township Solicitor who shall then institute an action in equity in the name of the Township to enjoin same.

SECTION 7 Repealer and Effective Date. All ordinances or parts of ordinances inconsistent herewith are hereby repealed. This ordinance shall take effect five (5) days after its adoption.

ENACTED AND ORDAINED This 18th Day of October 1971.

Anson W. H. Taylor, Jr.

James L. Larson

C. Richard Ryan

*Board of Supervisors
of Easttown Township*

ATTEST: John Barber
Secretary

FOREWORD

The Board of Supervisors is of the opinion that it is necessary that the location, design, construction and maintenance of driveways entering upon township highways be regulated for the purpose of security for such highways, economy of maintenance, preservation of proper drainage, and safe and convenient passage of traffic thereon.

The object of these regulations is to establish uniform controls governing such location, design, construction and maintenance. The Board of Supervisors is cognizant of the fact that abutting property owners have the right of access, except along limited access highways. It must be recognized, however, that indiscriminate roadside development and uncontrolled highway connections can result only in lower highway capacity and increased hazard to all traffic.

Most roadside interference can be attributed directly to vehicular traffic entering, leaving and parking adjacent to the access driveways of residences, business establishments and other roadside developments along the highway.

To this end the Township has deemed it advisable to publish these regulations.

SECTION 101 - DEFINITION OF TERMS.

The following words and phrases when used in these regulations shall, for the purpose of these regulations, have the following meanings, respectively, except in those instances where the context clearly indicates a different meaning:

"Corner Clearance" - The distance, at an intersection of two highways between the near edge of the access driveway approach and the point of intersection of the pavement edges or the curb line extended.

"Intermediate Island" - That section of the roadway right of way between the pavement edge or curb and the property line, which occurs between driveways.

"Pavement edge" - The edge of the main traveled portion of any street or highway, exclusive of shoulder or berm.

"Permanent type construction" - Plain or reinforced concrete, bituminous concrete or macadem of required thickness.

"Person" - Any natural person, firm, co-partnership, association or corporation.

"Property line clearance" - The distance measured along the pavement edge or curb between the property frontage boundary line and the edge of the driveway.

"Radius Curb" - That section of curb forming an arc beginning at the end of driveway and continuing to throat of driveway.

"Rural area" - An area where roadways have been built to typical rural highway standards without sidewalks and curbs.

"Shoulder line" - The intersection of the shoulder slope with the side slope or ditch slope.

"Setback" - The lateral distance between the right of way line and the roadside business building, liquid fuel pump island, display stand or other object, the use of which will result in space for vehicles to stop or park between such facilities and the right of way line.

"Sidewalks" - A permanent hard paved walkway, continuous for a reasonable distance and integral part of the highway development, solely, for use of pedestrians.

"Stabilized material" - Any aggregate such as gravel, stone, slag, or mixtures of such aggregates with soil, placed in such a manner as to provide a smooth, stable, all-weather surface not subject to undue raveling, meeting PennDot specifications.

"Urban area" - An area where the roadways have been built to typical city street standards, including sidewalks and curbs.

"Vehicle" - Any device in, upon or by which any person or property is or may be transported or drawn upon a public highway.

SECTION 102 - LOCATION, DESIGN AND CONSTRUCTION.

(a) All driveways shall be located designed and constructed in such a manner as not to interfere or be inconsistent with the design, maintenance and drainage of the highway.

(b) Access driveways shall be located in such manner that they will not cause the following: (a) interference to the traveling public; (b) a hazard to the free movement of normal highway traffic, or, (c) areas of undue traffic congestion on the highway. In accordance with this principle, driveways should be located where the highway alignment and profile are favorable, i.e., where there are no sharp curves, or steep grades, and where sight distance in conjunction with the driveway access would be adequate for safe traffic operation.

(c) Access driveways should not be located in such sections that would interfere with the placement and proper functioning of highway signs, signals, detectors, lighting or other devices that affect traffic control. The location of a driveway near a signalized intersection that has an actuated traffic signal may include a requirement that the permittee provide (without expense to the Township or PennDot) additional detectors and signal poles and heads for the control of traffic movement from his establishment or for relocation of existing detectors.

(d) Where highway curbs exist, driveway approaches shall be installed one and one-half (1½) inches above the adjacent highway or gutter grade to maintain the proper drainage.

(e) Where highway curbs do not exist driveways shall be constructed in such a manner as not to interfere with the drainage grade line of shoulders. If in the opinion of the Township Engineer and/or his duly authorized representative, the road superintendent, a pipe is required to maintain the grade line, the permittee shall install such pipe at his expense, parallel to the pavement edge and at a minimum distance of 10 feet therefrom and on the grade line as directed by the Township Engineer.

Where a pipe is placed in the shoulder line the driveway may slope away from the roadway at a lesser gradient than the normal shoulder slope but not less than 1/4" per foot from the paving edge to the pipe.

The minimum pipe length shall be equal to the width of the driveway plus 10 feet, SEE PAGE 16.

SECTION 103 - NUMBER AND ARRANGEMENT OF ACCESS DRIVEWAYS.

The permissible number, arrangement and width of driveways shall be governed in part by the highway frontage of abutting private property. The number of driveways permitted shall be the minimum number required to serve adequately the needs of the abutting property. Frontages of 50 feet or less shall be limited to one driveway. Normally not more than two driveways need to be provided to any single property tract or business establishment. Exception may be made where the frontage exceeds 300 feet in length or where the frontage is along a divided highway. In such instances requests for additional driveways shall require prior approval from the township.

SECTION 104 - APPROACHES TO ACCESS DRIVEWAYS.

(a) The location and angle of an access driveway approach in relation to the highway intersection shall be such that a vehicle
(1) entering the driveway may do so in an orderly and safe manner and with a minimum of interference to through highway traffic, and
(2) leaving the driveway may enter safely into the lane of traffic moving in the desired direction.

(b) Where the access driveway approach and highway pavement meet, flaring of the approach or acceleration and deceleration lanes (Page 21) may be necessary to allow safe, easy turning of the vehicle when entering or departing from the driveway.

(c) No part of any access driveway shall be constructed outside of the applicants frontage. There shall be at least 10 feet in rural and 5 feet in urban areas from property line to nearest edge of drive. (Page 22) 1.

(d) Each roadside business establishment shall provide sufficient parking or storage space off the right of way to prevent the storage of vehicles on the driveway or the backing up of traffic on the traveled roadway.

(e) No part of the highway right of way shall be used for servicing of vehicles, displays or conducting a private business. The area between the edge of the pavement and the right of way line shall be kept clear of all buildings, sales exhibits, business signs, parking areas, service equipment, etc. excluding mail boxes.

(f) Improvements on private property adjacent to the right of way shall be so located that parking, stopping and maneuvering of vehicles on the right of way will not be necessary in order for vehicles or patrons to be served properly. For example, liquid fuel pump islands installed in service stations adjacent to the highway shall be located not less than twelve (12) feet outside of the right of way line, when a driveway is established and the permit is issued. This subsection is not intended to imply that should the highway be widened at a later date that the fuel pumps have to be moved back in order to comply with the 12 foot minimum distance from the right of way line. However, a greater distance is recommended to provide sufficient space for large vehicles.

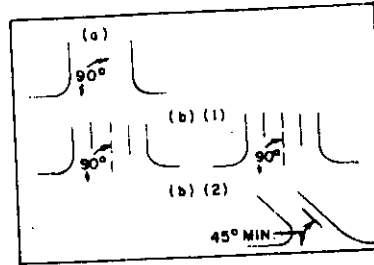
SECTION 105 - STANDARDS AND SPECIFICATIONS.

A. ANGLE OF ACCESS DRIVEWAY APPROACH

Control Dimensions

(a) Single driveway - As near 90° as site conditions permit.

- (b) Two driveways -
- (1) Two way operation - As near 90° as site conditions permit.
 - (2) One way operation - 45° Minimum.

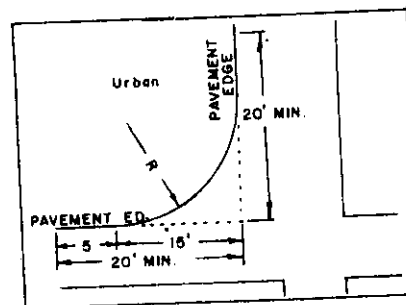


Single access driveway approaches shall be positioned at right angles (90°) to the highway or as near thereto as site conditions permit. When two access driveways are constructed on the same property frontage and used for one way operations, each of these driveways may be placed at an angle less than a right angle, but not less than 45° to the highway.

B. CORNER CLEARANCE

Control Dimensions

- Rural - 30 feet minimum
 Urban - 20 feet minimum

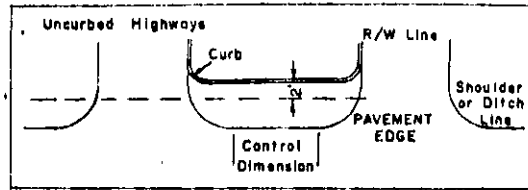


Corner clearance shall be a minimum of thirty (30) feet in rural areas and twenty (20) feet in urban areas. These dimensions must include pavement edge distance of ten (10) feet in rural areas and five (5) feet in urban areas.

C. INTERMEDIATE ISLAND BETWEEN MULTIPLE DRIVEWAYS

Control Dimensions

- Rural - 20 feet minimum
- Urban - 15 feet minimum



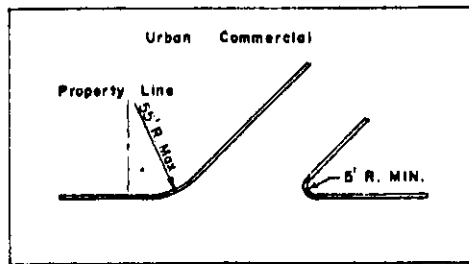
An intermediate island shall separate all multiple driveways opening upon the same highway. The island area shall extend from the shoulder line, ditch line or curb line to the right of way line. The minimum length for an intermediate island measured along the right of way line shall be ten (10) feet. The minimum length measured along the shoulder line, ditch line, or curb line shall be twenty (20) feet in rural areas or fifteen (15) feet in urban areas.

The intermediate island area shall be clearly defined. Intermediate islands of twenty (20) feet or less measured along the shoulder line, ditch line or curb line, and shall be defined by a permanent type curb. This curb shall be placed two (2) feet back of the shoulder line or ditch line on uncurbed highways and shall be extended to the right of way line. Additional curbing may be required at the discretion of the Township Engineer.

D. RADIUS CURB - Control Dimensions

The maximum and minimum length for radius curbs shall be as follows:

Rural Residential -	Urban Residential -
5 feet minimum	5 feet minimum
20 feet maximum	20 feet maximum
Rural Commercial -	Urban Commercial -
5 feet minimum	5 feet minimum
55 feet maximum	55 feet maximum

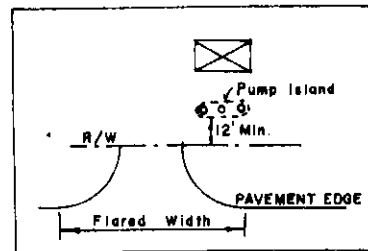


E. SETBACK

Recommended

Control Dimensions

Fuel Pump Islands - 12 feet minimum outside the right of way line.



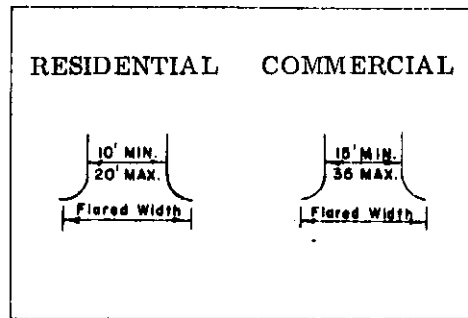
It is recommended that all liquid fuel service stations, business establishments and other roadside developments other than private residences shall be located a sufficient distance from the right of way line as to provide ample driving area and parking off the right of way, prevent storage of vehicles on the access driveways and the backing up and turning of vehicles on the highway pavement.

F. WIDTH OF ACCESS DRIVEWAY APPROACHES

Control Dimensions

Residential - 10 feet minimum
20 feet maximum

Commercial - 15 feet minimum
35 feet maximum



The width of access driveways shall not exceed the above dimensions when measured at right angles to the centerline of driveway. Where a commercial access driveway approach and the highway pavement meet, flaring of the driveway shall be required to allow safe and easy turning of the vehicle either into or out of a commercial development. Service station driveways shall not have a flared width greater than sixty-five (65) feet.

G. CURB

All curb must be of a permanent type.

In Urban or rural areas where no curb exists one of the following types of curb may be used:

- (a) 8" high vertical face curb.
- (b) 6" high (sloped face) curb.

Where the property abutting highway right of way will be used for parking area the Township may require curb to be placed along the right of way line. This curb will be required to confine the traffic movement to the access driveway and to prohibit encroachment upon sidewalks or shoulder area.

H. SIGHT DISTANCE

Access driveways shall be located at a point of optimum sight distance along the highway within the property frontage limits. The profile of the driveway and the grading of the right of way area shall provide a maximum sight distance (as required by the sight distance diagram chart, page 18) so that the operator of a vehicle departing from such a driveway will have optimum visibility in either direction along the highways.

Where adequate sight distances cannot be attained, the location of the driveway will be at the discretion of the Township Engineer.

I. SLOPE OF ACCESS DRIVEWAY

All driveways shall be constructed in such a manner as not to impair drainage within the highway right of way, alter the stability of the roadway subgrade or materially change the drainage of adjacent areas. Where open shoulders or berms exist the grade of a paved access driveway (s) shall slope away from the highway pavement at the same rate as the existing shoulder (unless advised to the contrary by the Township Engineer) for the prevailing width of the shoulder. The gradient of a driveway beyond this point (within the highway right of way) shall be not less than 1/4" per foot.

Driveway ramps may extend from the face of the curb up to the outer edge of the sidewalk area in those cases where a planted area occurs between multiple driveways. The rate of slope for such driveway ramps preferably should not exceed one (1) inch per foot. Where conditions are such that one (1) inch per foot slope is not obtainable the sidewalk area of the driveway may be lowered sufficiently to obtain the allowable ramp slope and the sidewalk may be warped up to meet the normal sidewalk grade, at a rate of slope not to exceed 3/8 inch per foot.

Where a drainage ditch or swale exists, adequate pipe shall be installed under the driveway (by the permittee) in accordance with Township specifications. Minimum diameter of such drainage pipe shall be fifteen (15) inches (or 11" x 18" arch) unless otherwise specified by the Township Engineer.

J. ACCESS DRIVEWAY PAVEMENT

Access driveways shall be appropriately surfaced between the traveled road and the business or service area with a stabilized material or a higher material when specified by the Township Engineer. Along paved highways access driveways shall be paved.

K. DECELERATION AND ACCELERATION LANES

The shoulder or berm area leading to the entrance driveway of a business establishment or other roadside developments in rural areas may be paved for a suitable distance to permit vehicles to

decelerate or accelerate in safety when entering or leaving the property. Such paving shall be limited to the area in front of the abutting property and shall be done by the property owner, at his expense in accordance with Township specifications.

Special attention will be given to permit requests for the construction of access driveways to large business establishments, shopping centers, outdoor theaters, etc., particularly when the volume of traffic generated may necessitate acceleration and deceleration lanes, standby lanes, "Jughandles," channelization, etc. In all such cases, the permittee will be advised that costs incident to the construction of such additional roadway improvements shall be at no expense to the Township. Such work shall be constructed under the supervision and inspection of the Township.

SECTION 106 - MAINTENANCE

All driveways, adjacent areas and areas between such driveways including channelization, paving drainage, etc., installed by the permittee shall be maintained by the property owner in such a manner as not to interfere or be inconsistent with the design, maintenance and drainage of the highway, or the safe and convenient passage of traffic upon the highway. The term "adjacent area" shall apply only to that area within the permittee's property line extended.

SECTION 107 - INSPECTION

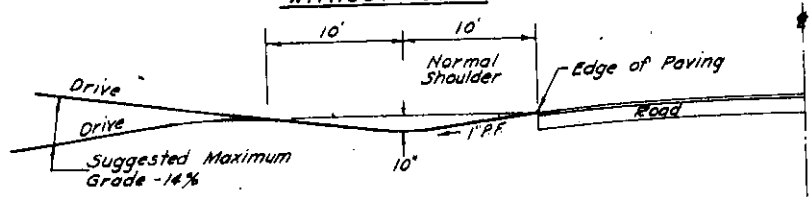
Work authorized by a Township Permit for construction of an access driveway approaching all Township Roads shall be performed at such time and in such a manner as to conform to all requirements and standards specified herein. Such work will be inspected by the Township Engineer immediately upon notification to the Township by the permittee.

If an inspection of the work discloses that it is not being or has not been properly performed, the permittee will be notified, in writing, by the Township Engineer to take immediate steps, at his expense, toward placing the work in such condition as to conform to said requirements and standards.

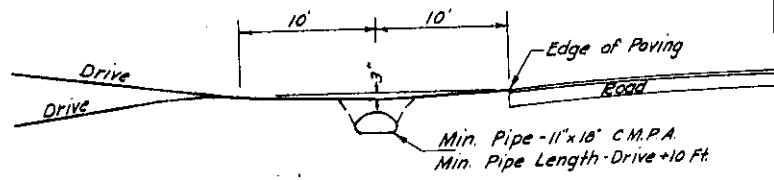
SECTION 108 - EFFECTIVE DATE

These rules and regulations shall become effective on the 23rd Day of October 1971, and shall continue in full force and effect thereafter until amended, modified, revoked or rescinded by the Township.

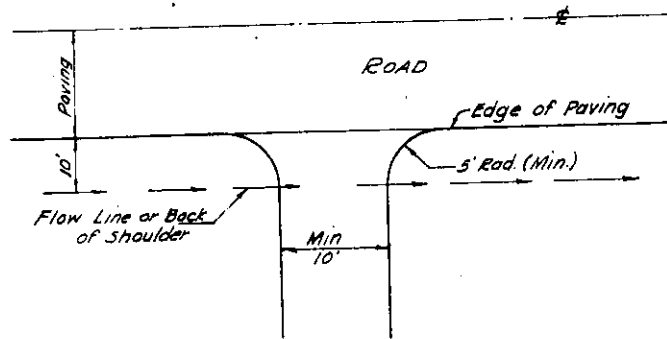
DRIVEWAY IN VALLEY GUTTER
WITHOUT CURB



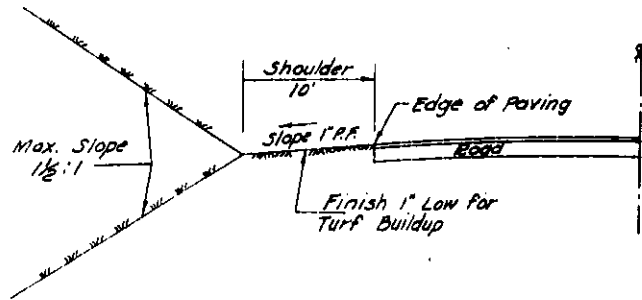
DRIVEWAY IN CUT SECTION



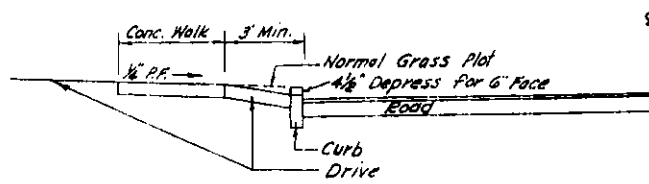
RESIDENTIAL DRIVEWAY SKETCH
PLAN VIEW



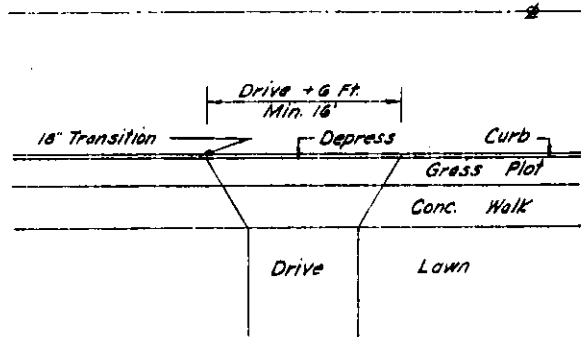
LAWN CROSS SECTION



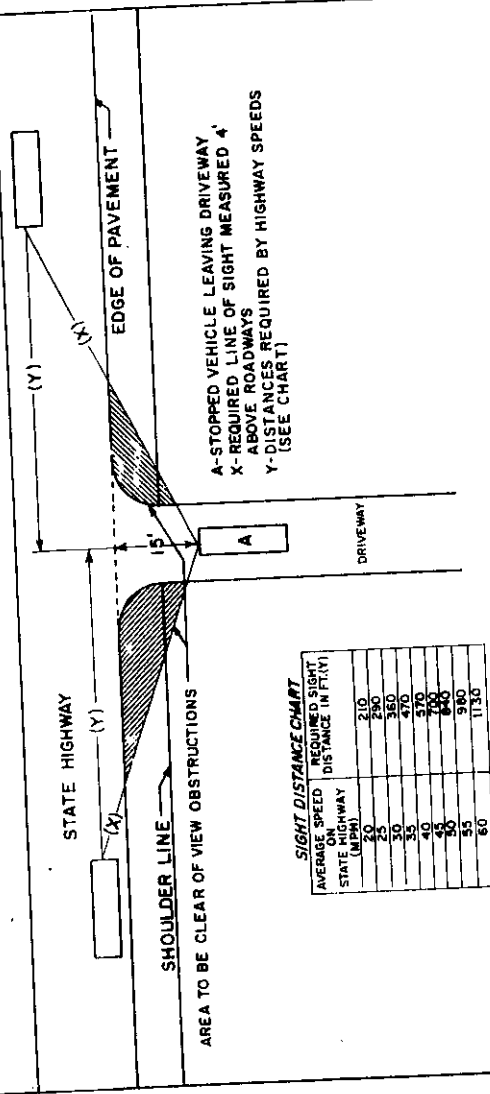
DRIVEWAY WITH HIGHWAY CURB



PLAN VIEW



FORM 950J REV 4-68



SIGHT DISTANCE CHART

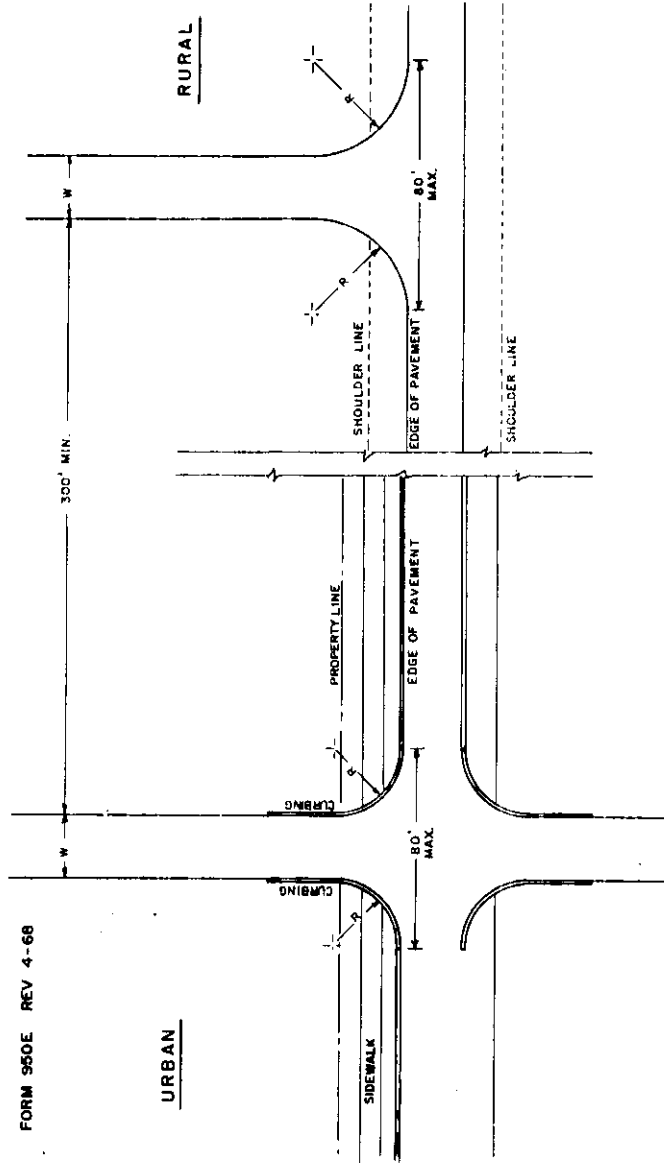
AVERAGE SPEED STATE HIGHWAY (M.P.H.)	REQUIRED SIGHT DISTANCE IN FT. (Y)
20	210
25	280
30	360
35	470
40	570
45	700
50	840
55	980
60	1130

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF HIGHWAYS
BUREAU OF MAINTENANCE
(CENTRAL PERMIT SECTION)

SIGHT DISTANCE
DIAGRAM - CHART



FORM 950E REV 4-68



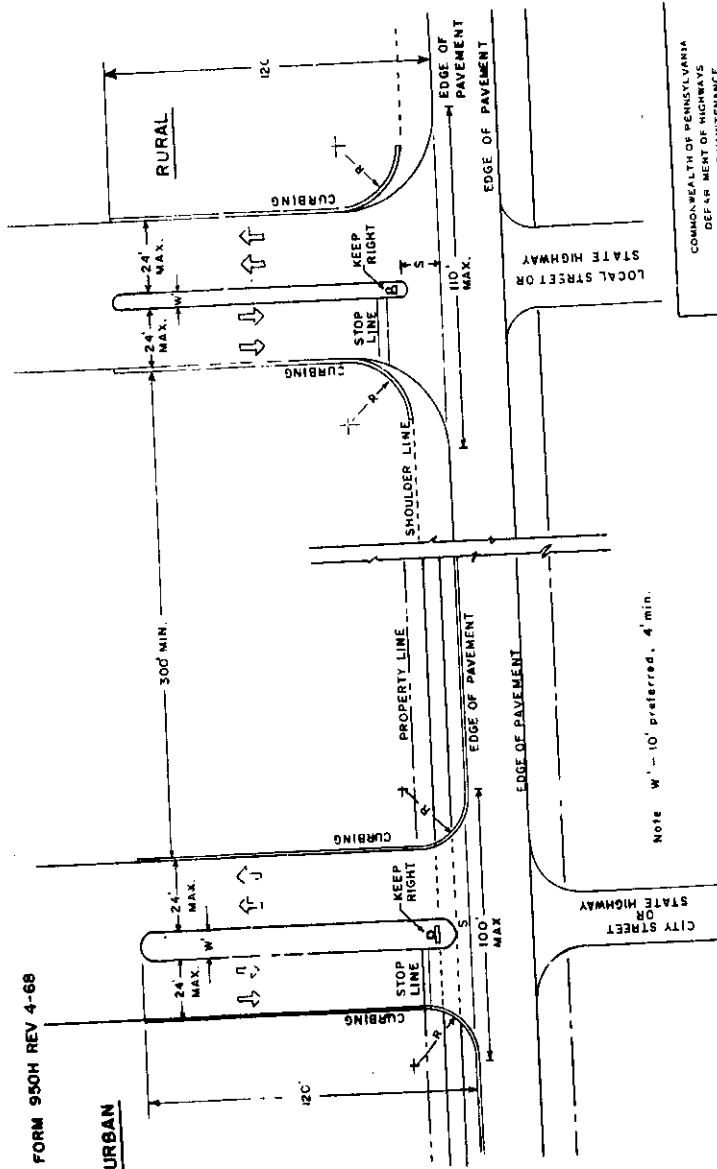
	URBAN	RURAL
W - ONE WAY	15' - 25'	15' - 25'
W - TWO WAY	24' - 35'	24' - 35'
R	10' - 25'	15' - 30'

NOTE: DRIVEWAYS MAY BE DESIGNED AS ONEWAY OR TWOWAY DRIVES. IF ONEWAY, DRIVEWAYS MAY BE INSTALLED ON A 45° - 60° ANGLE.

COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF HIGHWAYS
 BUREAU OF MAINTENANCE
 (CENTRAL PERMIT SECTION)

DRIVEWAY LAYOUT FOR
 COMMERCIAL, INDUSTRIAL, AND
 PUBLIC BUILDINGS
 LOW TRAFFIC VOLUMES ✓

FORM 950H REV 4-68



URBAN	RURAL
R 10'-25'	15'-30'
S 5' MIN	10' MIN

Note W' - 10' preferred, 4' min.

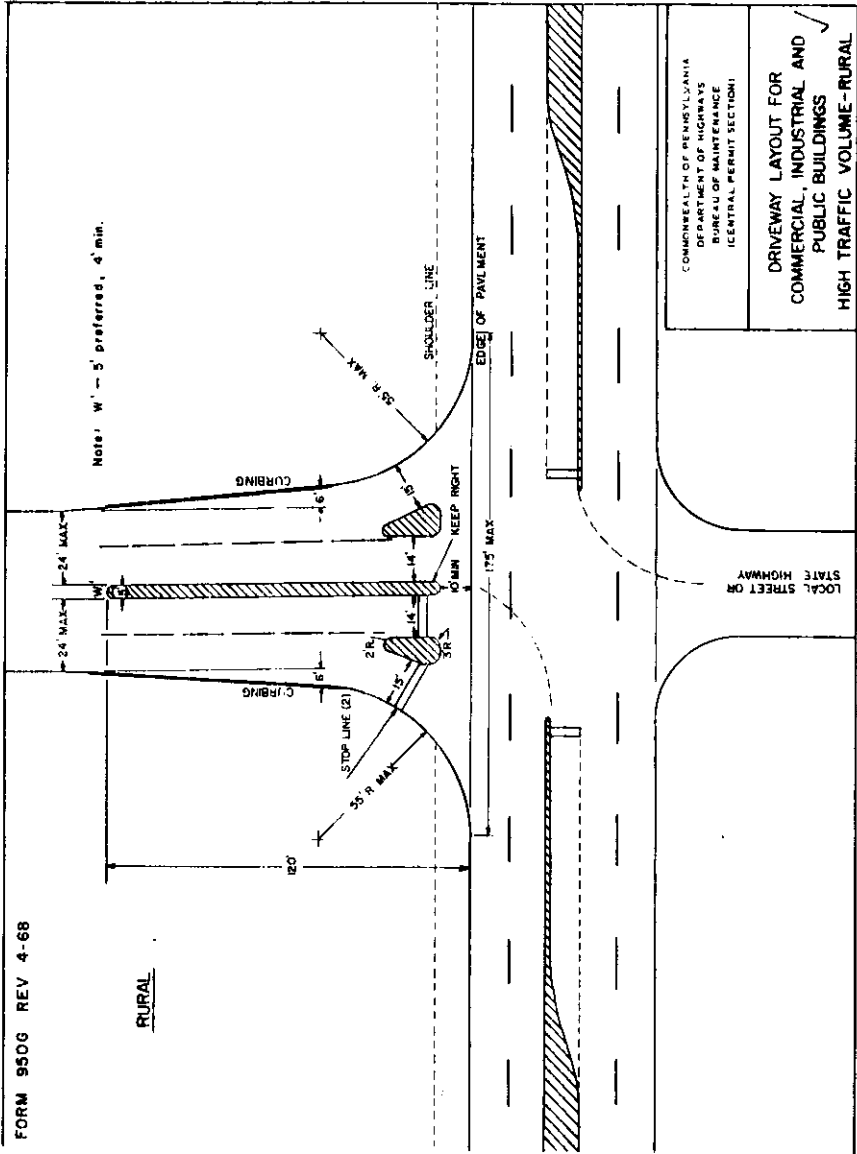
COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF HIGHWAYS
 BUREAU OF MAINTENANCE
 (CENTRAL PERMIT SECTION)

DRIVEWAY LAYOUT FOR
 COMMERCIAL, INDUSTRIAL AND
 PUBLIC BUILDINGS
 MEDIUM TRAFFIC VOLUME

FORM 9506 REV 4-68

RURAL

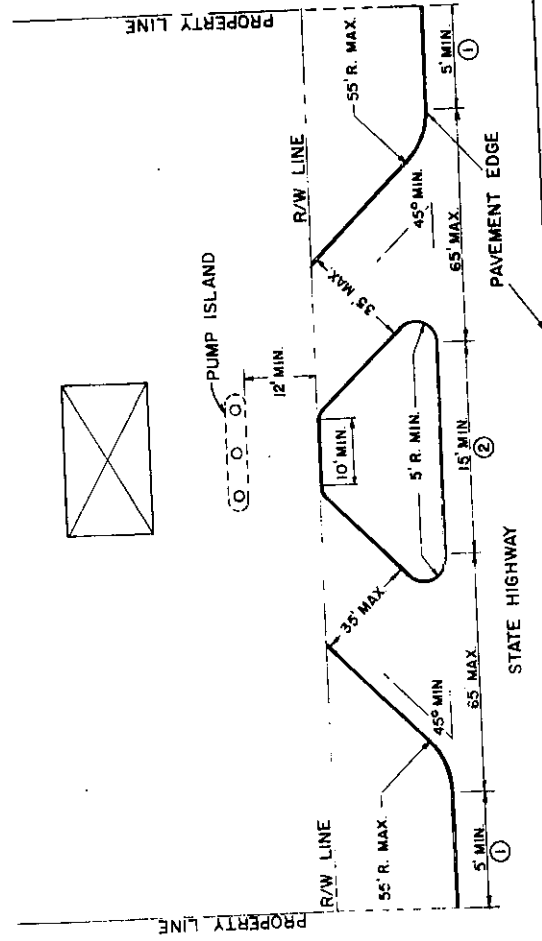
Note: W' - 5' preferred, 4' min.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF HIGHWAYS
BUREAU OF MAINTENANCE
(CENTRAL PERMIT SECTION)

DRIVEWAY LAYOUT FOR
COMMERCIAL, INDUSTRIAL AND
PUBLIC BUILDINGS
HIGH TRAFFIC VOLUME - RURAL ✓

FORM 950B REV 4-68



NOTE:

- ① 10' MINIMUM IN RURAL AREAS.
- ② 20' MINIMUM IN RURAL AREAS.
- ③ INTERMEDIATE ISLAND, 20' OR LESS, MEASURED ALONG SHOULDER LINE SHALL BE DEFINED BY PERMANENT CURBING.

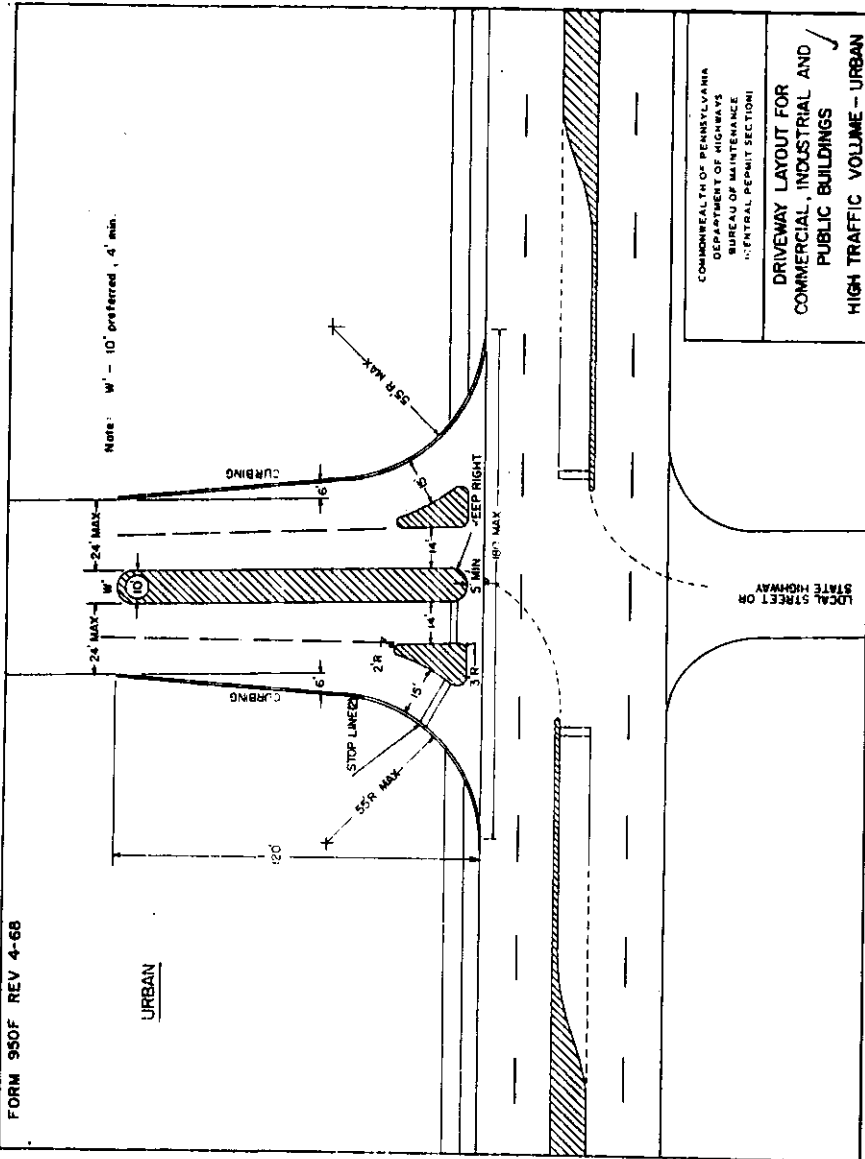
COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF HIGHWAYS
BUREAU OF MAINTENANCE
CENTRAL PERMIT SECTION

STANDARD LAYOUT FOR
DRIVEWAY APPROACHES
TO LIQUID FUEL STATIONS
IN URBAN AREA

FORM 950F REV 4-68

URBAN

Note: W' - 10' preferred, 4' min.



COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF HIGHWAYS
 BUREAU OF MAINTENANCE
 CENTRAL PERMIT SECTION

DRIVEWAY LAYOUT FOR
 COMMERCIAL, INDUSTRIAL AND
 PUBLIC BUILDINGS ✓
 HIGH TRAFFIC VOLUME - URBAN

LOCAL STREET OR
 STATE HIGHWAY

