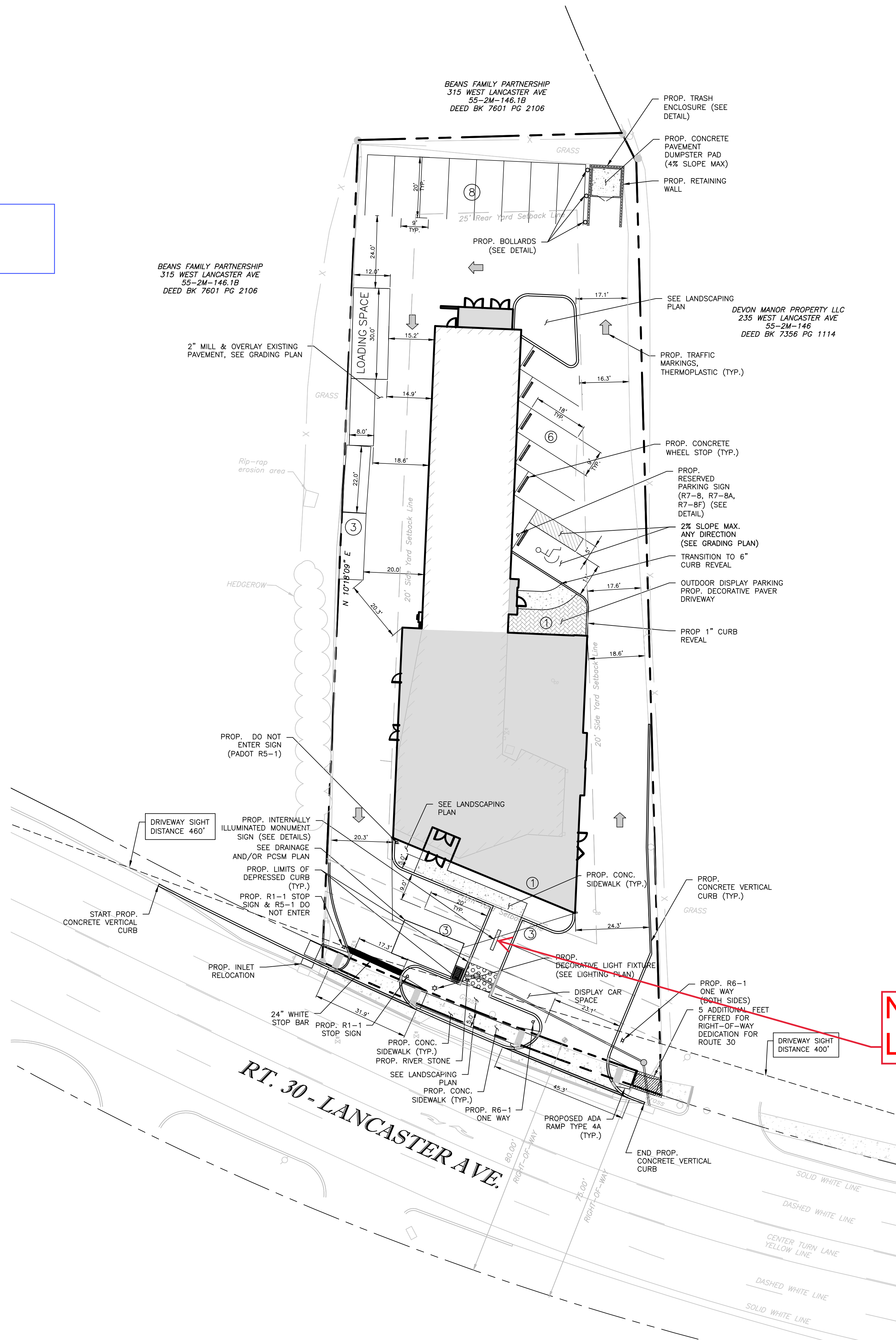


**PROPOSED SIGN LOCATION**



**SITE STATISTICS**

1. APPLICANT/OWNER OF RECORD:  
ROCK HILL REAL ESTATE VI LP  
311 LANCASTER AVE.,  
DEVON, PA 19333  
484-804-4800
2. EXISTING PROPERTY IDENTIFICATION:  
TAX MAP PARCEL REFERENCE #:55-2M-146.1A
3. TRACT AREA SUMMARY:  
GROSS TRACT AREA = 30,044.15 SF (0.6897AC)  
NET SITE AREA = 29,484.28 SF (0.6768AC)
4. ZONING DATA:  
ZONED: PBO - PLANNED BUSINESS-OFFICE DISTRICT

**ZONING DATA**

1. ZONING DISTRICT CLASSIFICATION:  
PBO - PLANNED BUSINESS OFFICE
2. EXISTING USE: AUTOMOBILE SALES  
PROPOSED USE: AUTOMOBILE SALES
3. ZONING REQUIREMENTS TABLE:

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	1 AC. (43,560 SF)	30,044.15 SF*	30,044.15 SF*
MINIMUM LOT WIDTH AT BUILDING SETBACK	100 FT	117.59 FT	117.59 FT
MINIMUM IMPERVIOUS COVERAGE	65%	95% (28,057 SF)*	86% (25,372 SF)**
MINIMUM FRONT YARD SETBACK	40 FT	44.39 FT	41.69 FT
MINIMUM REAR YARD SETBACK	25 FT	61.98 FT	55.86 FT
MINIMUM SIDE YARD SETBACK	20 FT	21.67 FT.	20.30 FT.
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT.	±33.23 FT.***
BUFFER YARDS			
FRONT	10 FT	0 FT.*	5.19 FT.*
REAR	10 FT	1.58 FT.*	4.75 FT.*
SIDE	10 FT	0 FT.*	0 FT.*

\* = EXISTING NONCONFORMITY TO REMAIN  
\*\* = DECREASED NONCONFORMITY  
\*\*\* = SEE ASSOCIATED BUILDING HEIGHT CALCULATIONS

**4. PARKING REQUIREMENTS/TABULATION:**

- AUTOMOBILE SALES (IN ADDITION TO SERVICE REQ.) - 1 SPACE / 400 SF GFA  
9,800 SF GFA (4900/FLOORX2FLOORS) (NOT INCL. SERVICE BAYS) = 24.5 OR 25 SPACES
- AUTOMOBILE SERVICE - 3 SPACES/GARAGE BAY  
7 BAYS = 21 SPACES
- EMPLOYEE PARKING - 1 PER EMPLOYEE  
# EMPLOYEES \* 1 = 10 (MAXIMUM ANY SHIFT)
- TOTAL REQUIRED PARKING = 56 SPACES INCLUDING EMPLOYEE SPACES (25+21+10 = 56)\*\*\*\*
- TOTAL PROVIDED PARKING = 32 SPACES (INCLUDING 2 SERVICE BAY INTERIOR SPACES & 2 OUTDOOR DISPLAY SPACES)
- FUNCTION/ACTUAL SPACES NEEDED: 10 EMPLOYEES + 5 CUSTOMER + 7 SERVICE = 22 SPACES NEEDED
- \*\*\*\*ZONING VARIANCE GRANTED FROM ORDINANCE SECTION 455-74(I) OF THE EASTTOWN TOWNSHIP ZONING ORDINANCE TO PERMIT FEWER OFF-STREET SPACES THAN ARE OTHERWISE REQUIRED, PER ZHB 556 ORDER DATED MARCH 30, 2017.

**5. BUILDING COVERAGES**

EXISTING:	5,713.40 SF
TO BE REMOVED:	2,878.70 SF
PROPOSED ADDITIONS:	5,054.00 SF
PROPOSED TOTAL:	7,888.70 SF
NET INCREASE:	2,175.30 SF

**NOTES:**

1. EXISTING BUILDING IS SERVICED BY PUBLIC WATER AND SEWER, AND HAS TWO (2) EQUIVALENT DWELLING UNITS (EDU'S) ALLOCATED FOR SEWER SERVICE
2. PROPOSED EDU ALLOCATION (PER EASTTOWN TWP. RESOLUTION 05-13-06):
  - 2.1. 5 EMPLOYEES @ 10 GPD (OFFICE) = 50 GPD
  - 2.2. 5 EMPLOYEES @ 35 GPD (WAREHOUSE) = 175 GPD
  - 2.3. TOTAL REQUIRED ALLOCATION = 225 GPD
  - 2.4. 200 GPD = 1 EDU; 25 GPD = 1.13 EDU'S
3. PROPOSED USE IS TO REMAIN AUTOMOBILE SALES & SERVICE

**NOTE:**

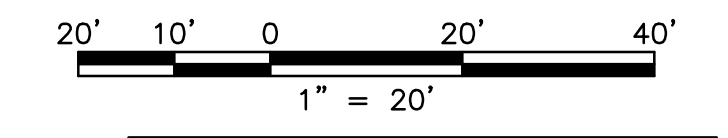
WEST DRIVEWAY  
S.R. 0030 SEGMENT 0651 OFFSET 2105  
STA. 1574+61.00  
DISTANCE TO NEAREST INTERSECTION (ARLINGTON ROAD) 271 FEET  
DISTANCE TO NEAREST SIGNALIZED INTERSECTION (S. WATERLOO ROAD) 1,940 FEET  
AVAILABLE SIGHT DISTANCE = LEFT: 447' RIGHT: 849'  
REQUIRED SIGHT DISTANCE = LEFT: 400' RIGHT: 460'

ALL SIGHT DISTANCE OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO EMBANKMENT AND VEGETATION) ON LANCASTER AVENUE (S.R. 0030) SHALL BE REMOVED BY THE PERMITEE TO PROVIDE A MINIMUM OF 400 FEET OF CONTINUOUS SIGHT DISTANCE TO THE LEFT AND 460 FEET TO THE RIGHT FOR DRIVER EXITING THE PROPOSED DRIVEWAY ONTO A STATE HIGHWAY. THE DRIVER MUST BE CONSIDERED TO BE POSITIONED 10 FEET (10') FROM THE NEAR EDGE OF THE CLOSEST HIGHWAY THOUGH TRAVEL LANE (FROM THE CURBLINE IF CURBING IS PRESENT) AT THE EYE HEIGHT OF THREE FEET-SIX INCHES (3'-6") ABOVE THE PAVEMENT. THE POINT SIGHTED BY THE EXITING DRIVER SHALL BE THREE FEET-SIX INCHES (3'-6") ABOVE THE PAVEMENT LOCATED IN THE CENTER OF THE CLOSEST HIGHWAY TRAVEL LANE DESIGNATED FOR USE BY APPROACHING TRAFFIC. THE PAVEMENT SURFACE LOCATED IN THE CENTER OF THE CLOSEST HIGHWAY TRAVEL LANE DESIGNATED FOR USE BY APPROACHING TRAFFIC. THE SIGHT DISTANCES SHALL BE MAINTAINED BY THE PERMITEE. THE PERMITEE SHALL COORDINATE WITH ADJOINING PROPERTY OWNERS TO MAINTAIN SIGHT DISTANCES.

**NEW SIGN LOCATION**

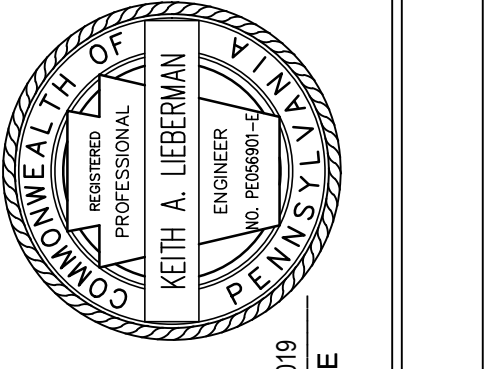
PROJECT INFORMATION:  
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LAST SAVED DATE AND TIME: 19 Mar 2017, 2:58PM  
LAST SAVE BY: Paolo

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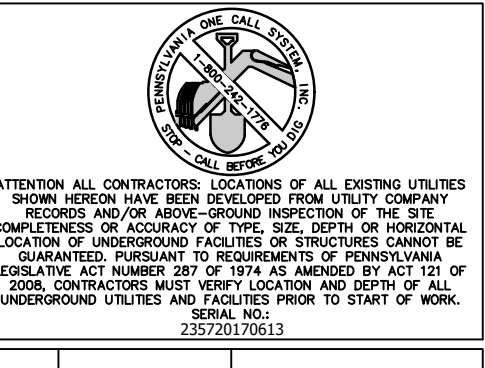


RECORD PLAN SHEET 04 OF 06

NO.	BY	REVISIONS	DATE
8	DFM	PER REVISED ARCHITECTURAL	3/19/21
7	DFM	REVISED PER TOWNSHIP COMMENTS	1/24/20
6	DFM	REVISED PER TOWNSHIP COMMENTS	8/5/19
5	GBR	REVISED PER TOWNSHIP COMMENTS	7/24/18
4	ROP	REVISED PER TOWNSHIP COMMENTS	8/10/18
3	DFM	REVISED PER VARIOUS TOWNSHIP REVIEW LETTERS	7/27/18
2	DFM	REVISED PER VARIOUS TOWNSHIP REVIEW LETTERS	7/27/17
1	DFM	REVISED PER VARIOUS TOWNSHIP REVIEW LETTERS	7/30/17



KEITH A. LIEBERMAN, P.E.  
LICENSED PROFESSIONAL ENGINEER



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SITE PLAN



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PHILADELPHIA, PA 19103  
TEL 215-282-7850  
FAX 215-627-3459  
www.tandmassociates.com

DESIGNED BY	EJS	DRAWING	
CHECKED BY	EJS	<b>CSP</b>	
DRAWN BY	DM	SHEET	
DATE	06/14/2017	<b>4</b>	
SCALE	1"=20'	<b>16</b>	
PROJ. NO.	MSML00010	OF	