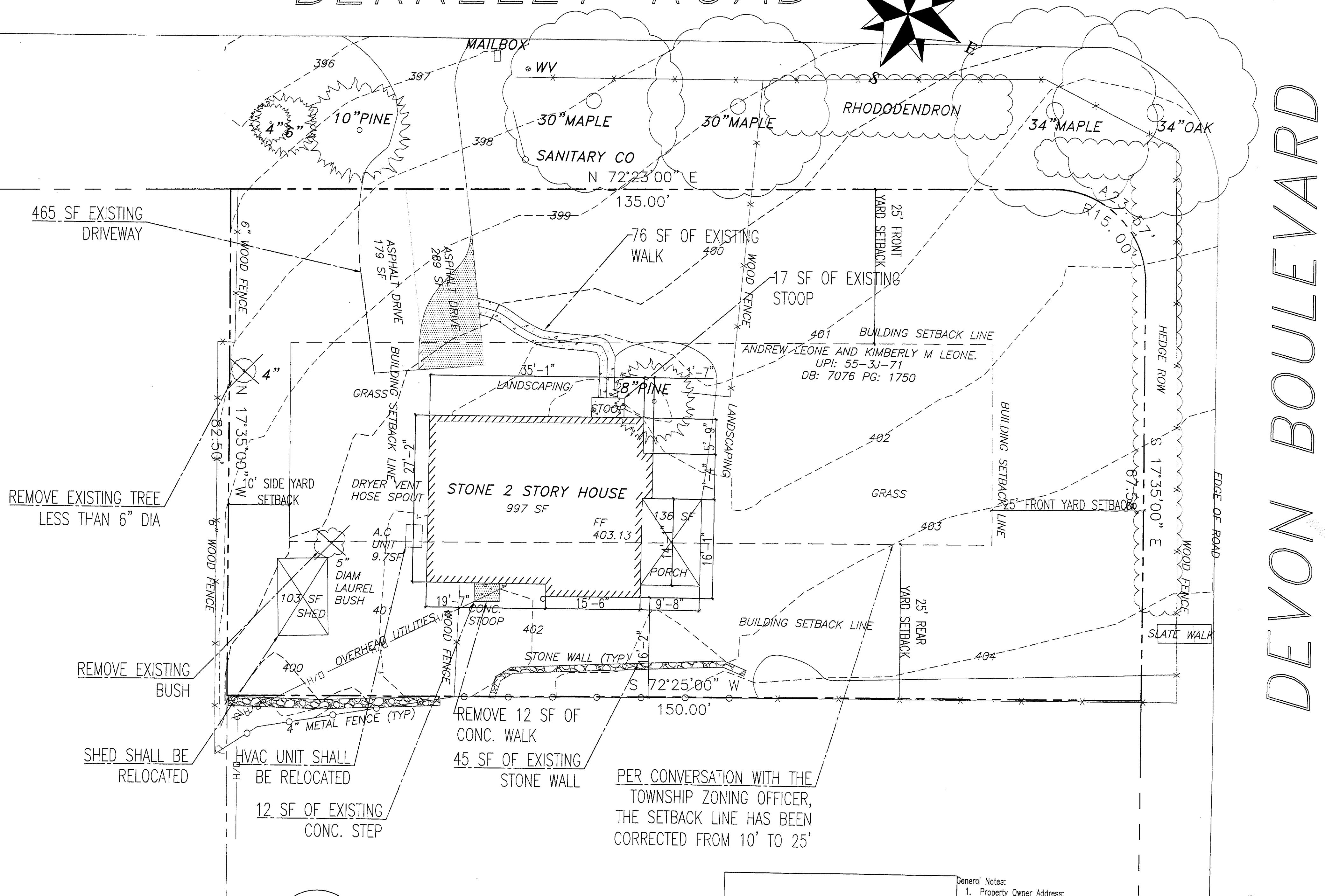
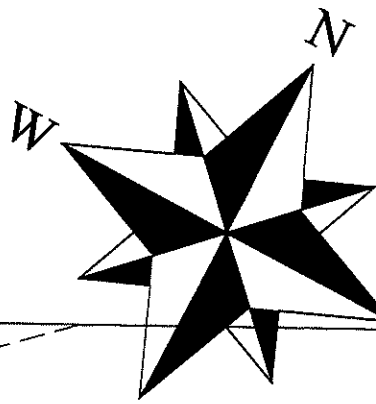


# BERKELEY ROAD



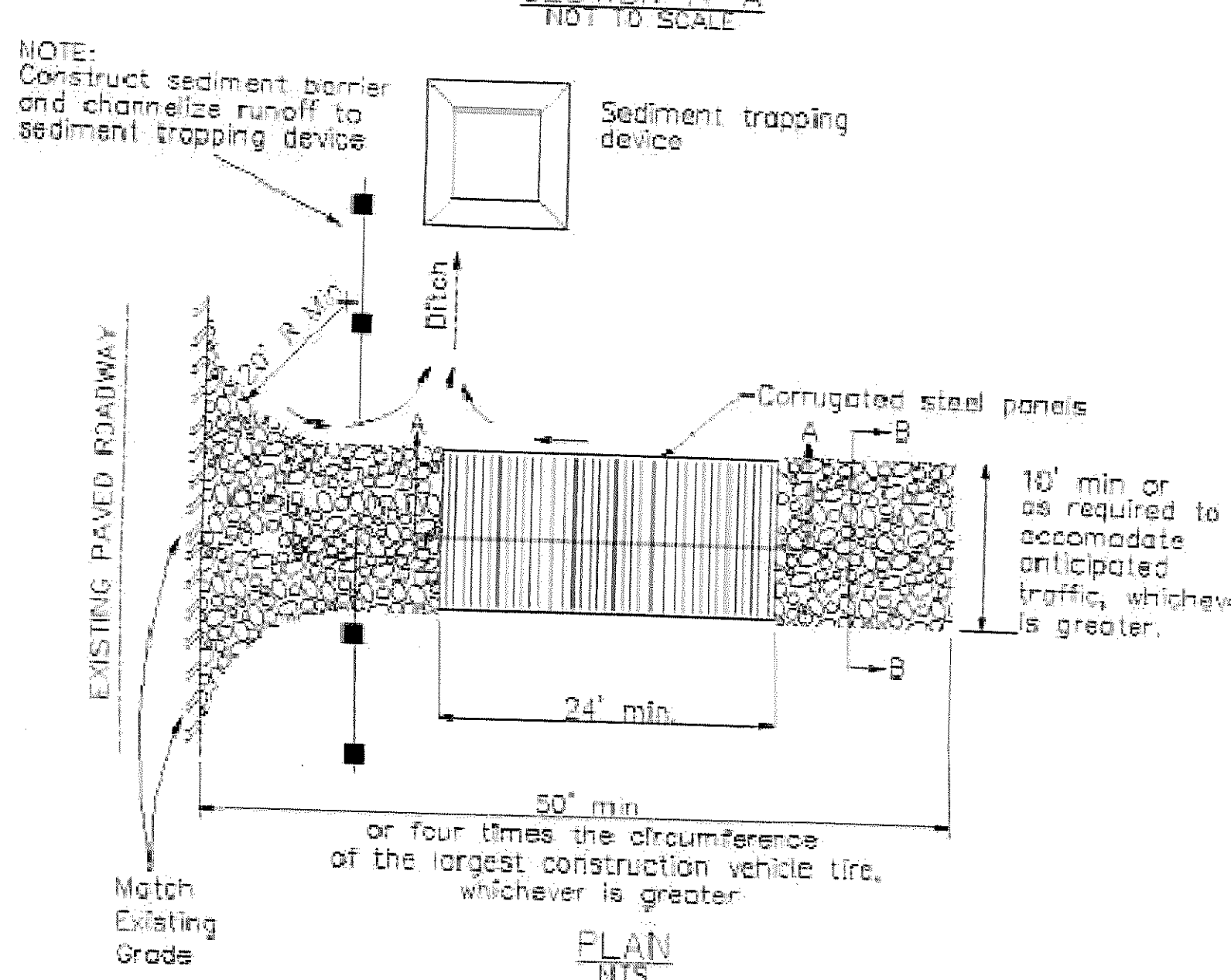
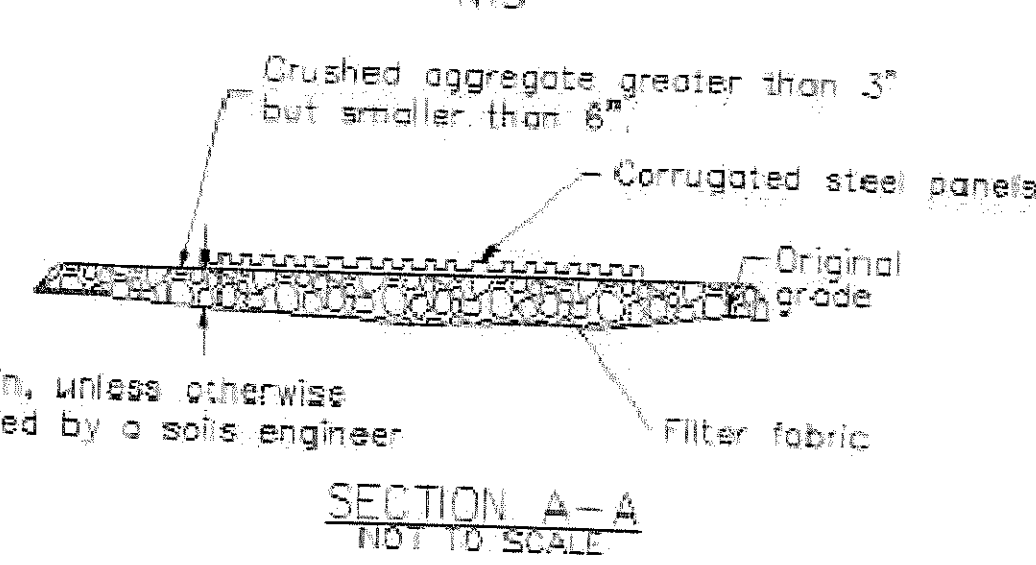
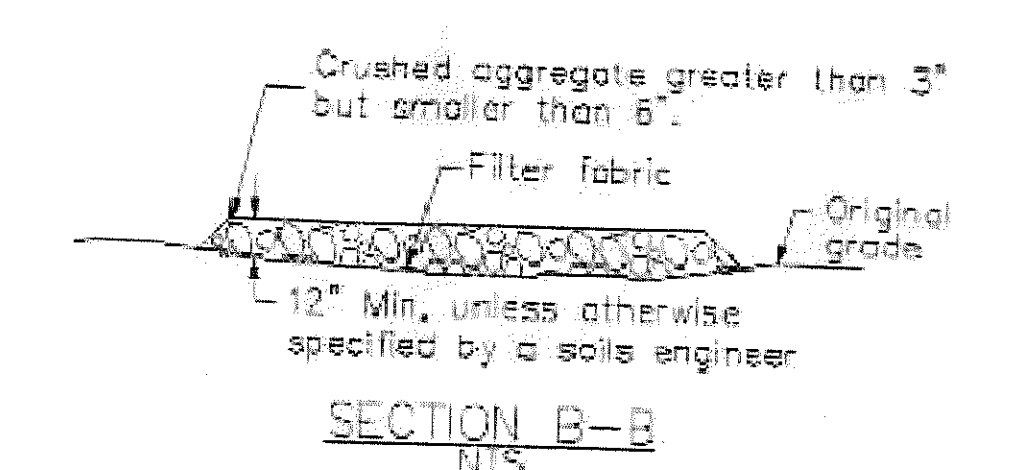
- Construction Sequence**
1. Install silt fence per detail and location on site plan.
  2. Install tree protection as indicated on plan and in notes.
  3. Notification of the Township Engineer shall occur following installation of protective barriers and prior to earth disturbance.
  4. Notify PA 1 call and allow them to mark services before beginning any excavation.
  5. Excavate for proposed footing and foundation walls. Remove excess soil offsite. Construct to finished grade. Backfill around foundation and rough grade site. Remove excess excavated material from site. Stockpile soil to be reused in location indicated on plans and protect with tarps or seed until used.
  6. Continue and complete construction of proposed building.
  7. Spread topsoil over disturbed area and stabilize disturbed areas as with permanent seed and mulch. Use a tackifier or netting to prevent runoff of soil and seed. All graded surfaces shall be seeded, sodded, and/or planted or otherwise protected. Slopes steeper than 3:1 shall be peg-sodded or seeded and covered with jute netting or similar material.
  8. Construct storm water management system and then complete item 8 for this disturbed area. The area of the BMP shall be protected from compaction during the site work.
  9. After all disturbed areas are stabilized, remove temporary erosion control features. Any areas disturbed during the removal process are to be seeded or mulched.

- Soil and Erosion Maintenance Requirements:**
10. Prior to any construction, soil and erosion controls shall be installed.
  11. Silt fence shall be installed as shown in the detail and in the location shown on the site plan.
    - a. Routine end-of-the day checks of soil and erosion controls shall be performed.
    - b. Checks of soil and erosion controls shall occur after storms.
    - c. If soil or debris builds up along the silt fence it shall be cleaned out so that the fence continues to function.
  12. Seed, sod and mulch shall be applied to disturbed areas within 20 days.
    - a. Tackifier or netting shall be applied to seeded areas to prevent runoff during storm events
    - b. Routine end-of-the day checks of seeded areas shall be performed.
    - c. Checks of seeded areas shall occur after storms.

**Tree Protection Notes:**  
 All woody vegetation to be retained within twenty five feet of a building site or disturbed area shall be protected from equipment damage by fencing placed at the drip lines. At homeowner discretion, the tree protection may be installed along side the driveway (to prevent materials and trucks from hitting property line vegetation). Grade changes around the drip lines of trees to be retained shall be minimized. Treatment of the trees prior to construction to protect the root system shall be performed as required. There shall be no construction materials, including pavers, concrete, fuel, debris, waste material or lumber stored in the tree protected area.

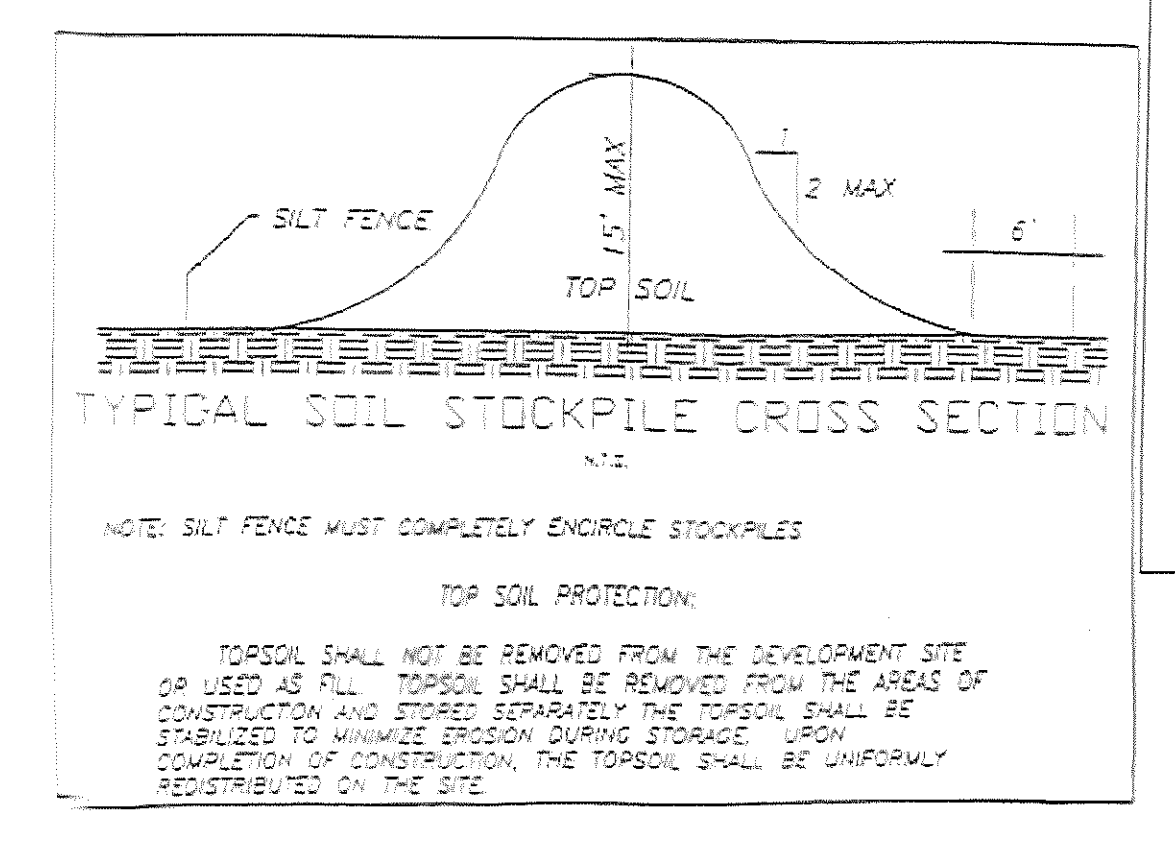
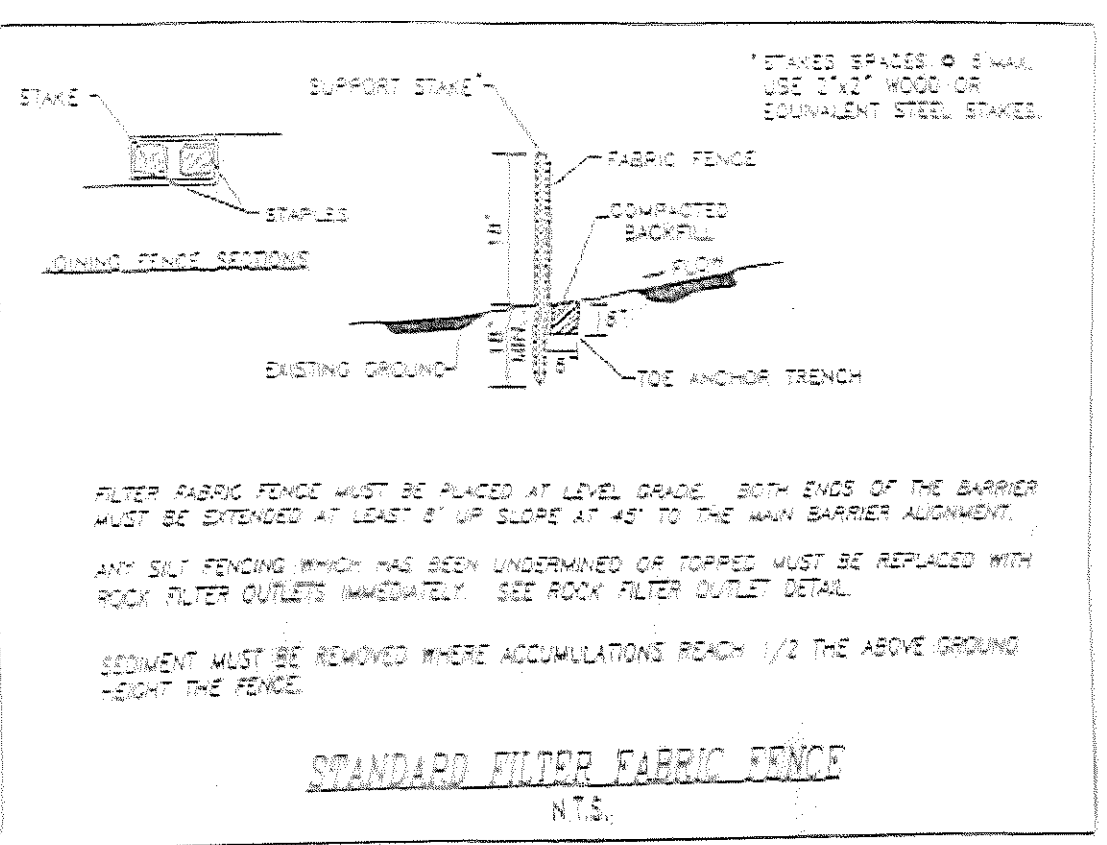
Construction vehicles will access the site via the existing driveway. Care shall be taken that any on-road or off-road vehicle shall not track soil into public roadways. A wash out station is not planned and the waste water must not contaminate the street. Should the contractor elect to establish a construction entrance it will be done in accordance with the detail on the plan and shall be placed at the top of the driveway.

- All construction shall occur on the property of Mr. and Mrs. David Shollock. The owners shall maintain and repair graded services and anti-erosion devices, retaining walls, drainage structures or other protective devices. The work shown on the plan shall be constructed completely within the limits of the property at 138 Berkeley Road, Devon PA
- If the existing driveway is insufficient in prevent water run-off, then the contractor shall provide a construction entrance.
- No utilities expect to be moved for the project.
- Verify utility lines in field
- Proposed addition is under 35' tall.
- Construction vehicles will access the site via the existing driveway. Care shall be taken that any on-road or off-road vehicle shall not track soil into public roadways.
- A washout station is not planned for the site due to the accessibility through the current driveway. If the existing driveway is insufficient in preventing sediment from leaving the site, then it is the responsibility of the contractor to install a construction entrance.



## 1 EXISTING SITE PLAN

SCALE 1"=10'



**ZONING REGULATIONS**

R-4 - Single-Family Residence

Building Setback Requirements	
Front Yard	25 ft.
Rear Yard	25 ft.
Side Yard	10 ft.

Area Requirements	
Maximum Height Building	35 ft.
Maximum Height Accessory	20 ft.
Minimum Lot Width	50 ft.
Minimum Lot Area	8,500 sq. ft.
Max impervious	40%
Side yard 20' aggregate, neither less than 10'	10 ft.

- General Notes:**
1. Property Owner Address: Mr. and Mrs. David Shollock, 138 Berkeley Road, Devon, PA 19333
  2. Property for Permitting: 138 Berkeley Road, Devon, PA 19333
  3. Original Survey Data Prepared By: CMC Engineering, P.O. BOX 956, Kimberlin, PA 19442, 610-883-9200
  4. Soil Erosion Plans and Proposed Plan Overlay by: Elizabeth Springer, PE, Dames Design, LLC, 117 Browning Lane, Rosemont, PA 19010, 610-613-9457
  5. Applicant Statement: Any revision to the approved drainage plan must be approved by Easttown Township, and a revised erosion and sediment control plan would be submitted to the Conservation District for a determination of adequacy if required by the Conservation District.
  6. Dames Design is not responsible for locating or excavating for the purpose of locating the utilities.
  7. The placement of materials for storage shall not be within the drip line of trees.
  8. Stockpile of soil per code and within silt fence, temporarily seed.
  9. A copy of soil erosion and sediment plan shall be available at the site at all times. This plan shall be used in conjunction with the most recent survey prepared by CMC Engineering
  10. The overall remodeling and addition proposed concept is as follows: A family room; addition, new garage and mudroom.
  11. rev 2 permit shows the setback lines and zoning table adjusted to reflect the township requirements over what was provided by the surveyor. Per the request of the homeowner and call with zoning officer

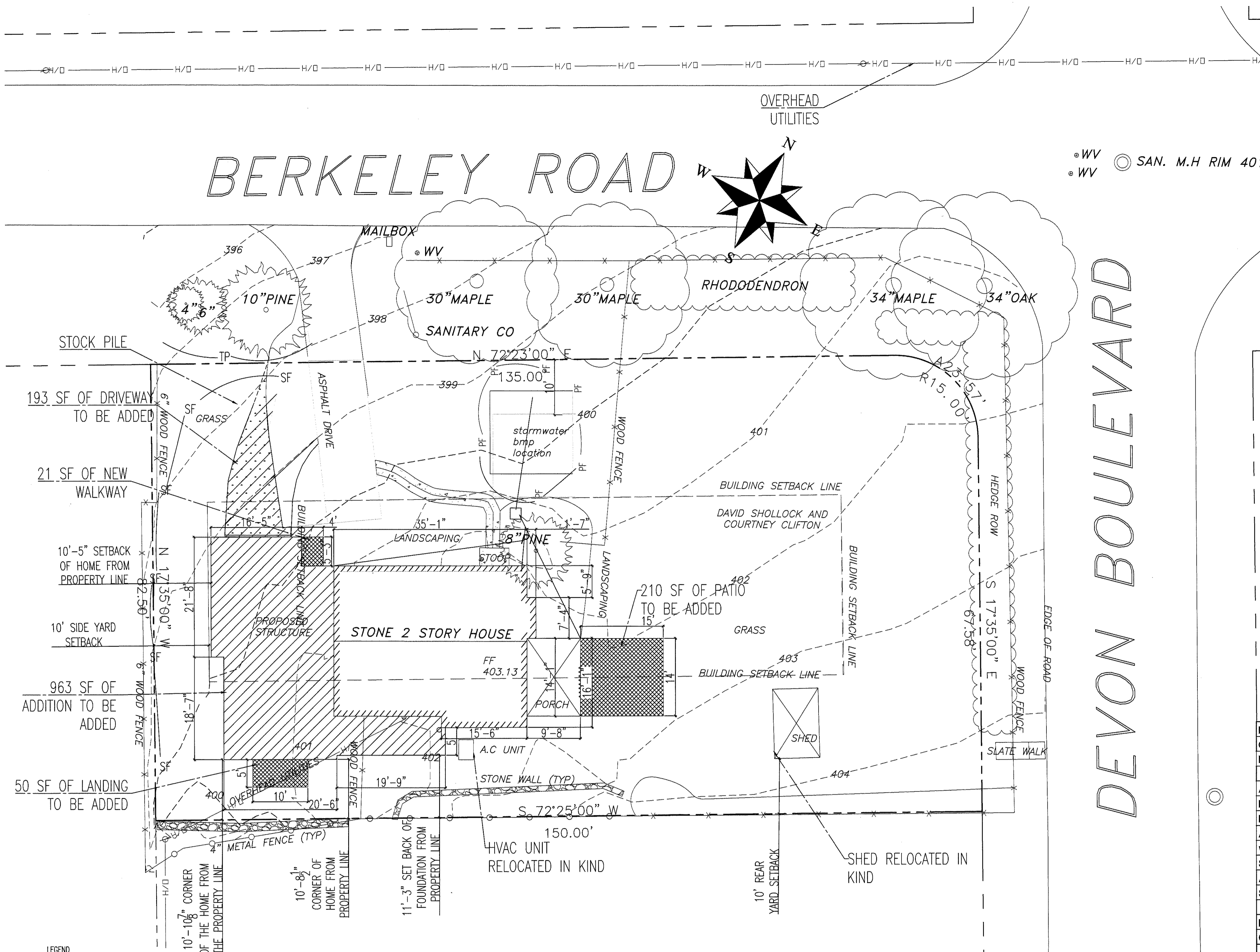
DAMES DESIGN, LLC  
 ELIZABETH SPRINGER, PE

SHOLLOCK RESIDENCE  
 138 BERKELEY ROAD  
 DEVON, PA 19333

EXISTING SITE PLAN

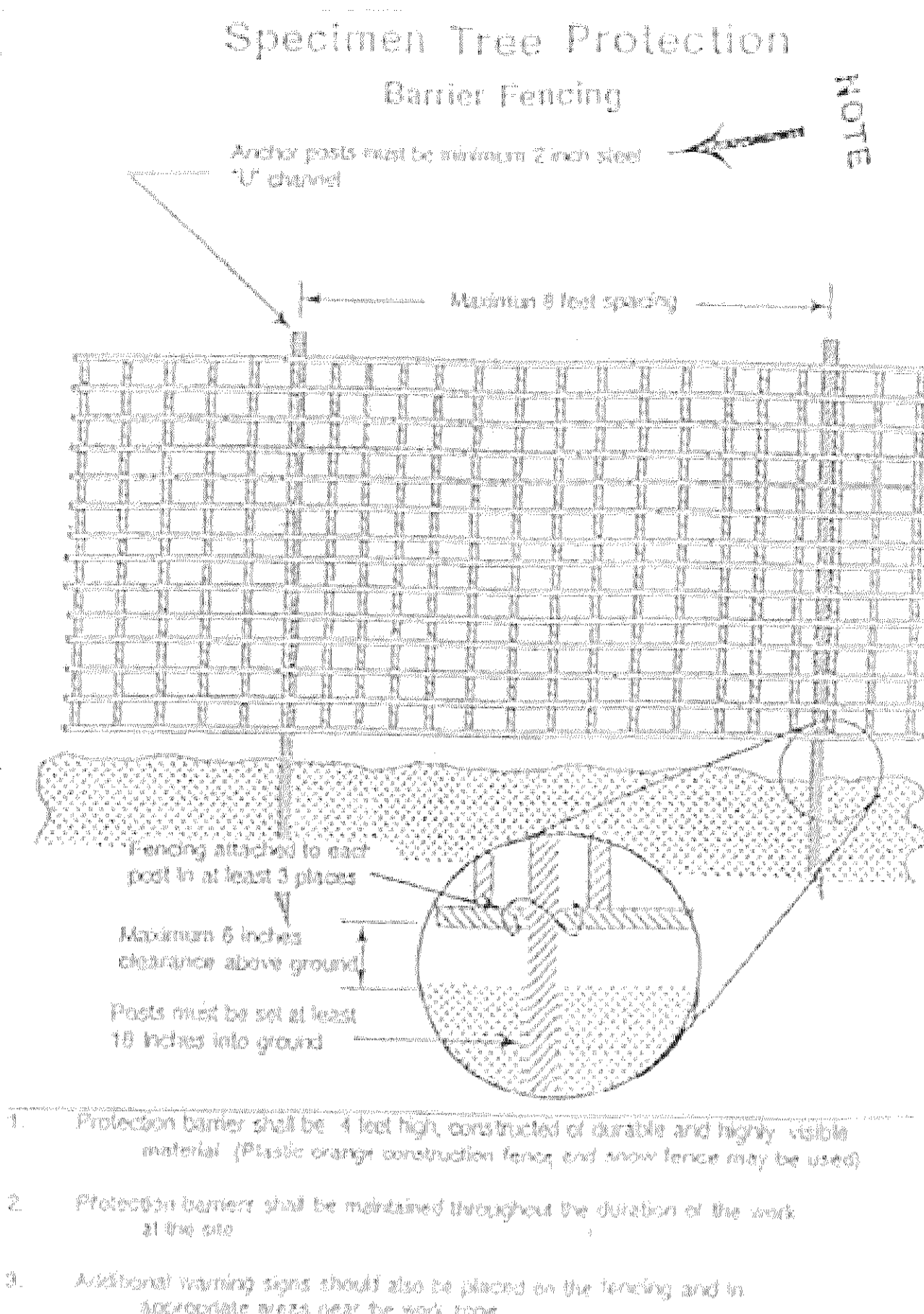
DATE SUBMITTED 08-5-21  
 REVISION NO.  
 PERMIT REVIEW 02-03-21  
 PERMIT 03-08-21  
 PERMIT REV 1 04-06-21  
 PERMIT REV 2 7.9.21  
 PERMIT REV 3 8.5.21

SCALE = AS NOTED  
 SHEET NO.  
 SP1  
 PROJ. # 20RD114



1  
SP2
**PROPOSED SITE PLAN**  
 SCALE 1"=10'

- LEGEND**
- FENCE LINE #
  - EDGE OF PAVING
  - ELECTRICAL METER EM
  - OVERHEAD WIRES OHW
  - EXISTING DECIDUOUS TREE
  - CONIFER
  - TREE TO BE REMOVED
  - SILT FENCE SF
  - TREE PROTECTION TP
  - WATER MAIN w
  - SEWER MAIN s
  - PROPERTY LINE
  - TELEPHONE POLE TUP
  - GAS MAIN g



1. Protection barrier shall be 4 feet high, constructed of durable and highly visible material. (Plastic orange construction fence and snow fence may be used)
2. Protection barrier shall be maintained throughout the duration of the work at the site.
3. Additional warning signs should also be placed on the fencing and in appropriate areas near the work zone.

THE FOLLOWING TREE PROTECTION STANDARDS ARE APPLICABLE TO ALL TYPES OF DEVELOPMENT AND LAND DISTURBANCE ACTIVITIES:

(1) GRADE CHANGES TO OCCUR AT ANY LOCATION ON THE PROPERTY SHALL NOT RESULT IN AN ALTERATION TO SOIL OR DRAINAGE CONDITIONS WHICH WOULD ADVERSELY AFFECT EXISTING VEGETATION TO BE RETAINED. FOLLOWING SITE DISTURBANCE, UNLESS ADEQUATE PROVISIONS ARE MADE TO PROTECT SUCH VEGETATION AND ITS ROOT SYSTEMS.

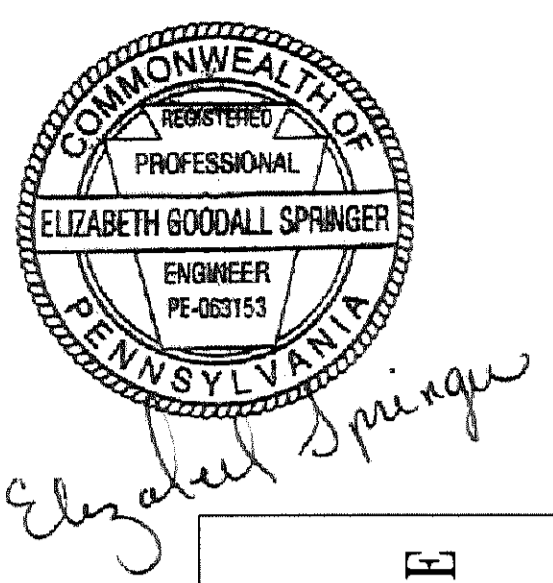
(2) THERE SHALL BE NO STORAGE OF TOXIC MATERIALS, INCLUDING PETROLEUM-BASED PRODUCTS, WITHIN 75 FEET OF A TREE PROTECTION ZONE.

(3) TREES SHALL NOT BE USED FOR ROPING, CABLES, SIGNS OR FENCING. NAILS AND SPIKES SHALL NOT BE DRIVEN INTO TREES.

(4) TREES THAT ARE TO BE REMOVED SHALL NOT BE FELLED, PUSHED OR PULLED INTO A TREE PROTECTION ZONE.

(5) TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL BE PROPERLY PRUNED AND TREATED IMMEDIATELY.

IMPERVIOUS COVERAGE SUMMARY		
Gross Lot Area	12,333 Sq. Ft.	
Existing Building Coverage	1,133 Sq. Ft.	9.2%
Allowable Impervious Coverage	4,933 Sq. Ft.	40%
Existing Total Impervious Coverage	1,861 Sq. Ft.	15.1%
Building	1,133 Sq. Ft.	
Asphalt	465 Sq. Ft.	
Walks/Patios/Conc.	105 Sq. Ft.	
Shed	103 Sq. Ft.	
AC Unit	9.7 Sq. Ft.	
Stone Wall	45 Sq. Ft.	
<b>EXISTING NON-BUILDING COVERAGE TO BE REMOVED</b>		
Concrete Walk	12 Sq. Ft.	
<b>Total</b>	<b>12 Sq. Ft.</b>	<b>0.1%</b>
<b>PROPOSED BUILDING COVERAGE</b>		
Proposed addition	963 Sq. Ft.	
<b>Total</b>	<b>963 Sq. Ft.</b>	
<b>PROPOSED NON-BUILDING COVERAGE</b>		
Asphalt landing in rear yard	193 Sq. Ft.	
Patio (off existing covered porch)	50 Sq. Ft.	
Walkway to garage	21 Sq. Ft.	
<b>Total</b>	<b>474 Sq. Ft.</b>	
<b>TOTAL PROPOSED NEW IMPERVIOUS</b>	<b>1437 Sq. Ft.</b>	
<b>TOTAL PROPOSED BUILDING COVERAGE</b>	<b>2,096 Sq. Ft.</b>	<b>17.0%</b>
<b>TOTAL PROPOSED IMPERVIOUS SURFACE</b>	<b>3,286 Sq. Ft.</b>	<b>26.6%</b>



**DAMES DESIGN, LLC**  
**ELIZABETH SPRINGER, PE**

**PROPOSED SITE PLAN**

**SHOLLOCK RESIDENCE**  
**138 BERKLEY ROAD**  
**DEVON, PA 19333**

**DRAWING LIST:**

- SP1- EXISTING SITE PLAN
- SP2- PROPOSED SITE PLAN
- SP3- STORM WATER MANAGEMENT SYSTEM

DATE SUBMITTED 08-5-21

REVISION NO.

- PERMIT REVIEW 02-03-21
- PERMIT 03-08-21
- PERMIT REV 1 04-06-21
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SCALE = AS NOTED

SHEET NO.

**SP2**

PROJ. # 20R0114