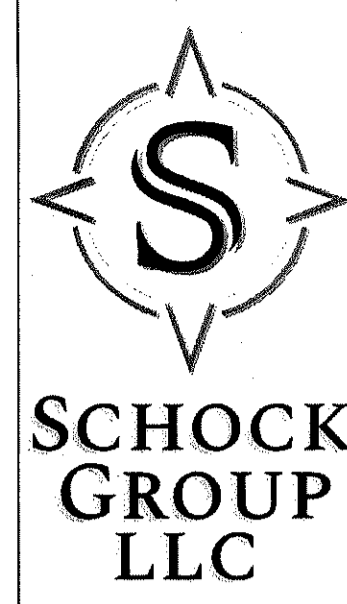
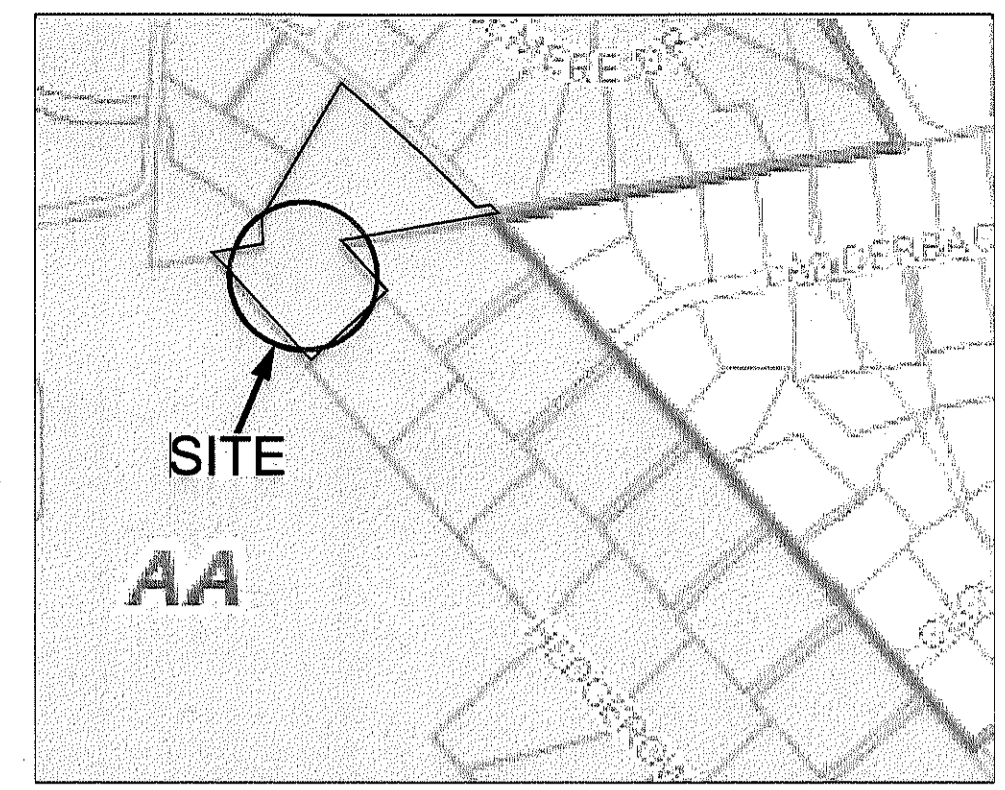


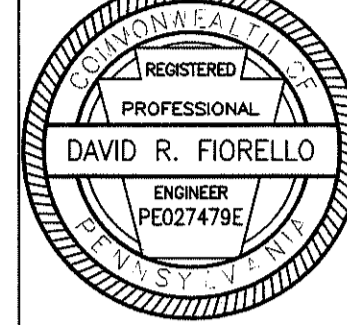
# THE STRID RESIDENCE

EASTTOWN TOWNSHIP | CHESTER COUNTY | PENNSYLVANIA

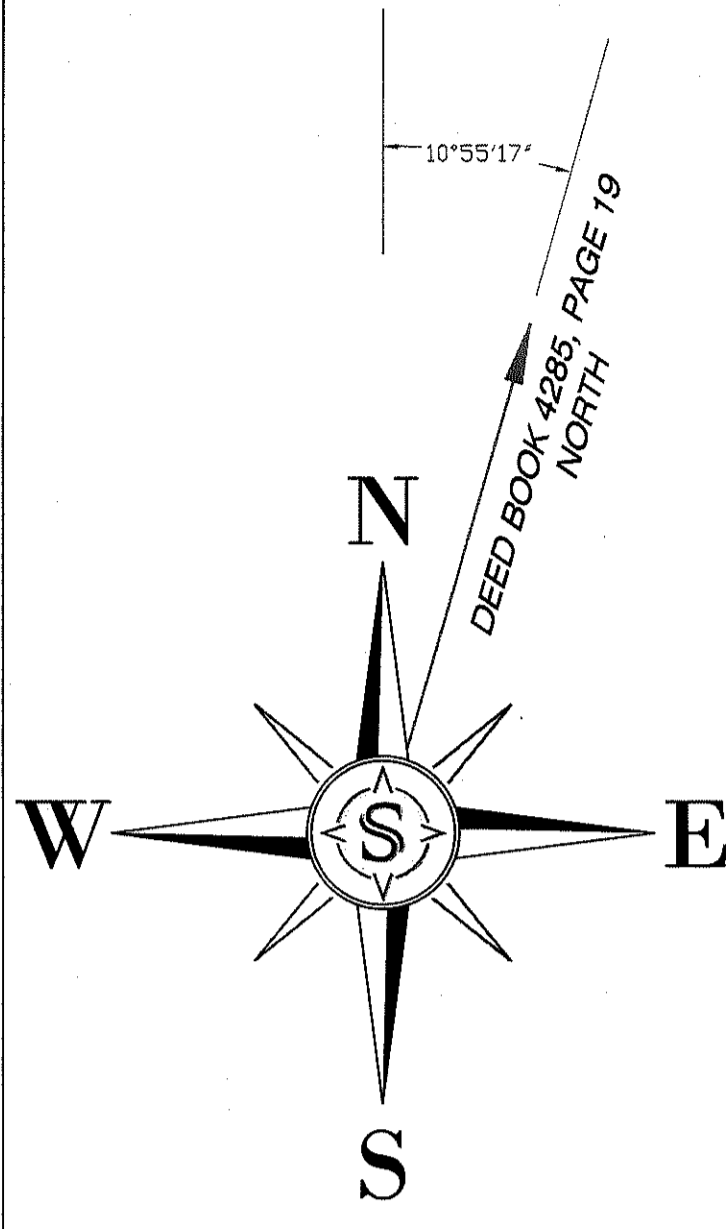


**SCHOCK GROUP LLC**

1958 BUTLER PIKE, SUITE 200  
CONSHOHOCKEN, PA 19382  
610.982.7373 | SCHOCKGROUP.COM



CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES BEFORE STARTING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER IN WRITING AT LEAST THREE DAYS PRIOR TO THE START OF ANY WORK.



**LINE TYPE LEGEND**

---	PROPERTY LINE
- - - -	ADJOINER PROPERTY LINE
- - - -	EASEMENT LINE
- - - -	RIGHT-OF-WAY LINE
- - - -	BUILDING SETBACK
- - - -	CONCRETE EDGE
- - - -	ASPHALT EDGE
- - - -	BUILDING
- - - -	EXISTING CURB TO REMAIN
- - - -	IMPERVIOUS TO BE REMOVED
- - - -	SOILS LINE
- - - -	FENCE LINE
- - - -	MODERATE SLOPES 15 TO 25%
- - - -	OVERHEAD ELECTRIC
- - - -	ELECTRIC LINE
- - - -	GAS LINE
- - - -	TELECOM LINE
- - - -	WATER LINE
- - - -	SANITARY LINE
- - - -	EXISTING STORM PIPES
- - - -	EXISTING 1' CONTOUR
- - - -	EXISTING 5' CONTOUR

**SYMBOL LEGEND**

TG	TOP OF GRATE ELEV.	E	ELECTRIC BOX
INV	INVERT ELEVATION	F	FIRE HYDRANT
TW	TOP OF WALL ELEV.	FV	FIRE VALVE
BW	BOTTOM OF WALL ELEV.	GV	GAS VALVE
TBC	TOP BACK OF CURB ELEV.	ET	EVERGREEN TREE
BC	BOTTOM BACK OF CURB ELEV.	SI	STORM INLET
IP	IRON PIN	TB	TELEPHONE BOX
CM	CONCRETE MONUMENT	GM	GAS METER
SM	SANITARY MANHOLE	EM	ELECTRIC MANHOLE
PS	POSTED SIGN	SI	SIGN
WV	WATER VALVE	PC	PARKING SPACE COUNT
B	BOLLARD	HPC	HANDICAP PARKING SPACE
CN	CLEANOUT	LP	LIGHT POLE
SMH	STORM MANHOLE		
AC	AC UNIT		

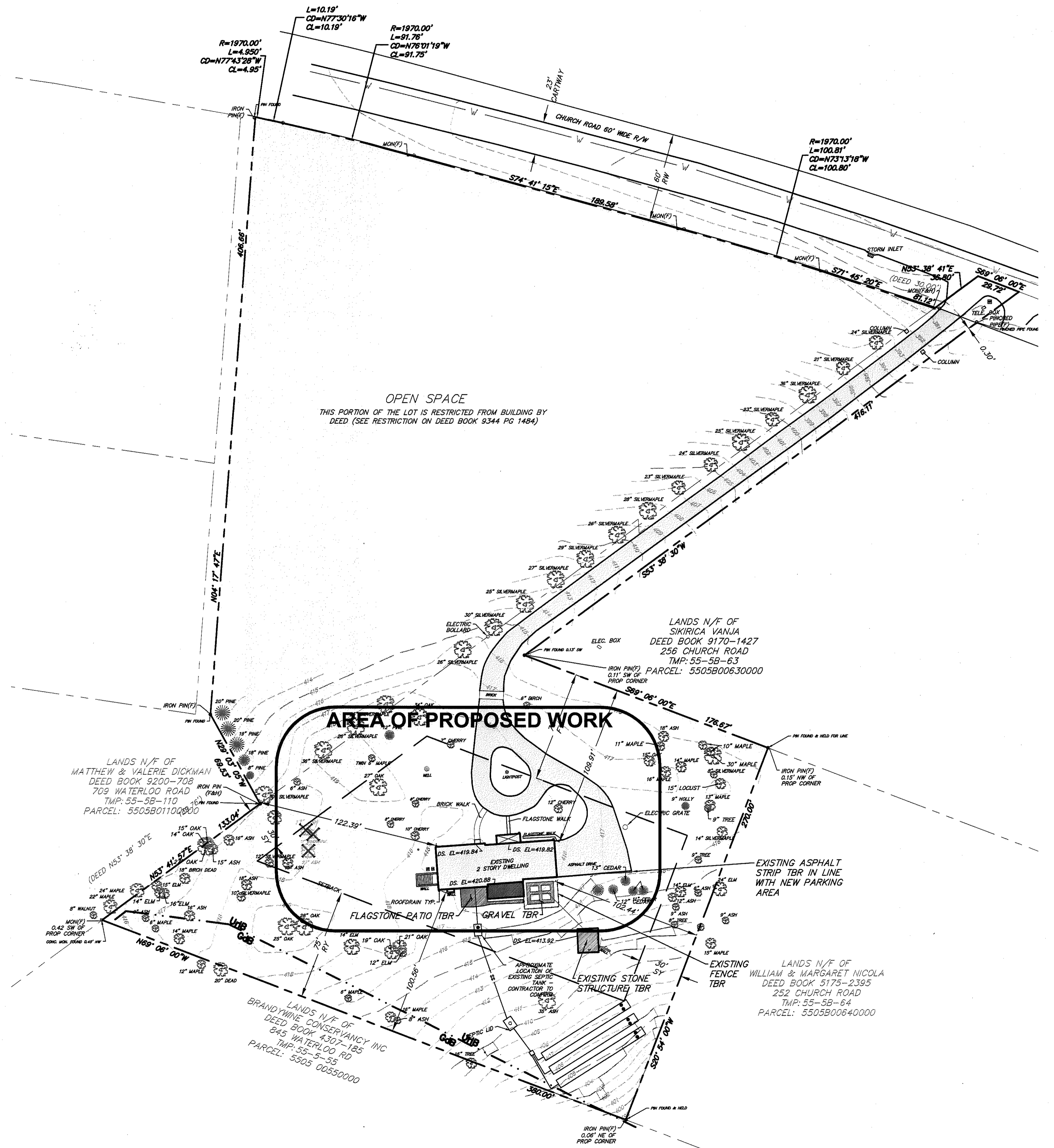
PERMITTEE OR PERMITEE'S DESIGNEE SHALL CONTACT THE TOWNSHIP AT 610-687-3000 TO ARRANGE THE PRE-CONSTRUCTION CONFERENCE AT THE SITE WITH THE TOWNSHIP ENGINEER. THE PRE-CONSTRUCTION CONFERENCE MUST BE HELD PRIOR TO THE COMMENCEMENT OF ANY WORK ASSOCIATED WITH THE SITE. THE TOWNSHIP ENGINEER'S OFFICE HOURS IN EASTTOWN TOWNSHIP ARE MONDAYS AND WEDNESDAYS BETWEEN 9:00 AM AND NOON.

I, \_\_\_\_\_ DO HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE TOWNSHIP AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR TOWNSHIP (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT SIGNATURE

I, DAVID R. FIORELLO, P.E., ON THIS DATE HEREBY CERTIFY TO THE BEST OF MY ABILITY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE EASTTOWN TOWNSHIP CODE CHAPTER 388, BEING THE EASTTOWN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

DAVID R. FIORELLO, P.E.



**ZONING DATA - AA ZONING DISTRICT:**

ITEM	REQUIREMENT	EXISTING	PROPOSED
NET LOT AREA	80,000 SF MIN.	203,771 SF NET	203,771 SF NET
LOT FRONTAGE AT BSL	150 FEET MIN.	254.5 FEET	254.5 FEET
IMPERVIOUS AREA	13.5% MAX	13,256 S.F. (6.46%)	16,330 S.F. (7.95%)
FRONT YARD	75 FEET MIN.	109.91'	109.91'
REAR YARD	75 FEET MIN.	100.56'	299.14'
SIDE YARD	30 FEET MIN.	102.44'	75.00'
BUILDING HEIGHT	35 FEET MAX PRINCIPAL BLDG.	NA	28.32'
	20 FEET MAX ACCESS. BLDG.	NA	20.00'
ACCESSORY BUILDING	NOT ALLOWED IN FRONT OR SIDE SETBACK AREAS	NA	39.00'
	30' SETBACK IN REAR AREA	NA	

**MAX. IMPERVIOUS COVERAGE CALCULATION**

GROSS LOT AREA	RIGHT OF WAYS, UTILITY EASEMENT & FLAG LOT ACCESS

ABOVE STORMWATER MANAGEMENT BASINS GREATER THAN 18 INCHES IN DEPTH THAT DO NOT EXCLUSIVELY SERVE THE LOT, BELOW-GROUND STORMWATER MANAGEMENT BASINS

**MAX. IMPERVIOUS COVERAGE CALCULATION LOT AREA**

**NET LOT AREA CALCULATIONS**

GROSS LOT AREA	=	206,073 SF
EXCLUSIONS	=	
- STREET RIGHT OF WAY	=	892 SF
- RAILROAD RIGHT OF WAY	=	0 SF
- UTILITY EASEMENTS	=	0 SF
- FLAG LOT ACCESS STRIPS	=	0 SF
- FUEL OR COMMUNICATION EASEMENTS	=	0 SF
- 100% VERY STEEP SLOPES	=	0 SF
- 50% MODERATE STEEP SLOPES	=	1,410 SF
- ABOVE GROUND SWM BASINS	=	0 SF
- BELOW GROUND SWM BASINS	=	0 SF
- RIPARIAN BUFFER AREAS	=	0 SF
TOTAL NET LOT AREA	=	203,771 SF (4.678 ACRES)

AREAS RESIDING IN MORE THAN ONE EXCLUDED AREA SHALL BE COUNTED ONLY ONCE AND IN THE ORDER THEY APPEAR IN THE DEFINITION OF NET LOT AREA.

**OWNER OF RECORD**  
PAUL STRID  
DB: 9344, PG. 1482  
LPI # 55-58-62  
260 CHURCH ROAD  
DEVON, PA 19333

**ZONING DISTRICT: R-AA**

MINIMUM LOT AREA:	80,000 S.F.
MINIMUM LOT WIDTH:	150 FEET
MAXIMUM IMPERVIOUS COVERAGE:	13.5%
FRONT YARD SETBACK:	75 FEET
SIDE YARD SETBACK:	30 FEET
REAR YARD SETBACK:	75 FEET
MAXIMUM BLDG. HT.:	35 FEET

**LOT AREA:**

GROSS LOT AREA:	206,073 S.F. (4.731 ACRES)
NET LOT AREA:	203,771 S.F. (4.678 ACRES)
NET LOT AREA FOR IMPERVIOUS:	205,181 S.F. (4.710 ACRES)

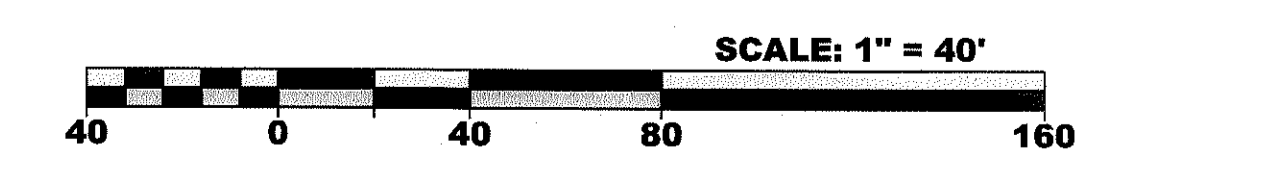
**EXISTING IMPERVIOUS SURFACES**

RESIDENCE	2,197 S.F.
PORCHES	339 S.F.
SHED	229 S.F.
DRIVEWAY	9,725 S.F.
WALKS & STEPS	292 S.F.
PATIOS	281 S.F.
WALLS	54 S.F.
GRAVEL	178 S.F.
TOTAL	13,256 S.F. (6.46%)

**EXISTING IMPERVIOUS SURFACES TO BE REMOVED:** 953 S.F.

**NOTES:**

- BOUNDARY AND TOPOGRAPHY TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 260 CHURCH ROAD" PREPARED BY MOMENEE INC. DATED DECEMBER 4, 2020, FILE NUMBER 20-252.
- SURVEY NOTES:
  - THIS PLAN REPRESENTS AN ACTUAL FIELD SURVEY PERFORMED ON THE PREMISES ON AUGUST 17, 2020 AND DEPICTS CONDITIONS ON THAT DATE.
  - THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
  - PA. ONE CALL NUMBER FOR THIS SITE IS 20202253817.
  - THE VERTICAL DATUM SHOWN ON THIS PLAN IS PER NAVD88 OBTAINED VIA GPS.
  - THIS SURVEY AND PLAN WAS COMPLETED WITHOUT THE AVAILABILITY OF A CURRENT TITLE REPORT AND SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE REPORT.
  - IN ACCORDANCE WITH FEMA PANEL NUMBER 42029C0170G EFFECTIVE DATE SEPTEMBER 29, 2017 PREMISES IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAN.
- THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
- SOIL TYPE IS G&B PER NRCS

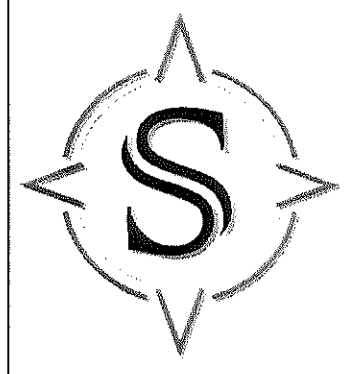
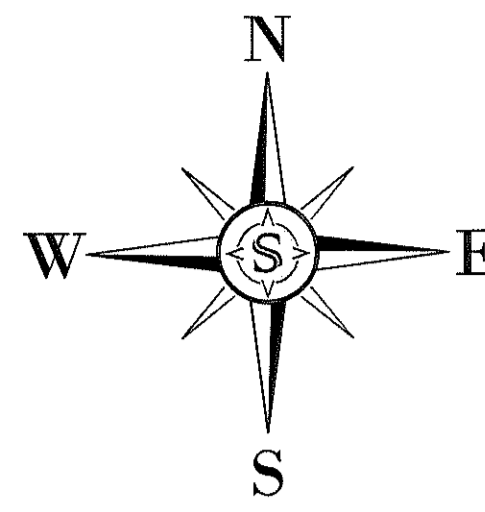


EXISTING CONDITIONS & IMPROVEMENT DEMOLITION PLAN  
GRADING PERMIT  
260 CHURCH ROAD  
EASTTOWN TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA

REV.	DATE	DESCRIPTION

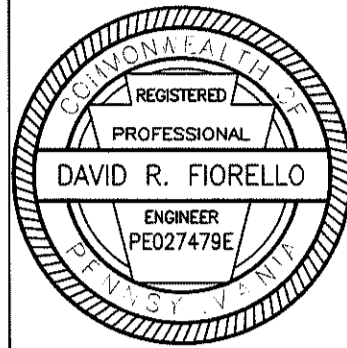
OWNER/APPRAISER:  
PAUL & RUTH STRID  
260 CHURCH ROAD  
DEVON, PA 19333

DRAWN BY: TED  
CHECKED BY: DRF  
DATE: AUGUST 31, 2021  
SCALE: 1" = 40'  
SHEET NO. 1 OF 5



**SCHOCK GROUP LLC**

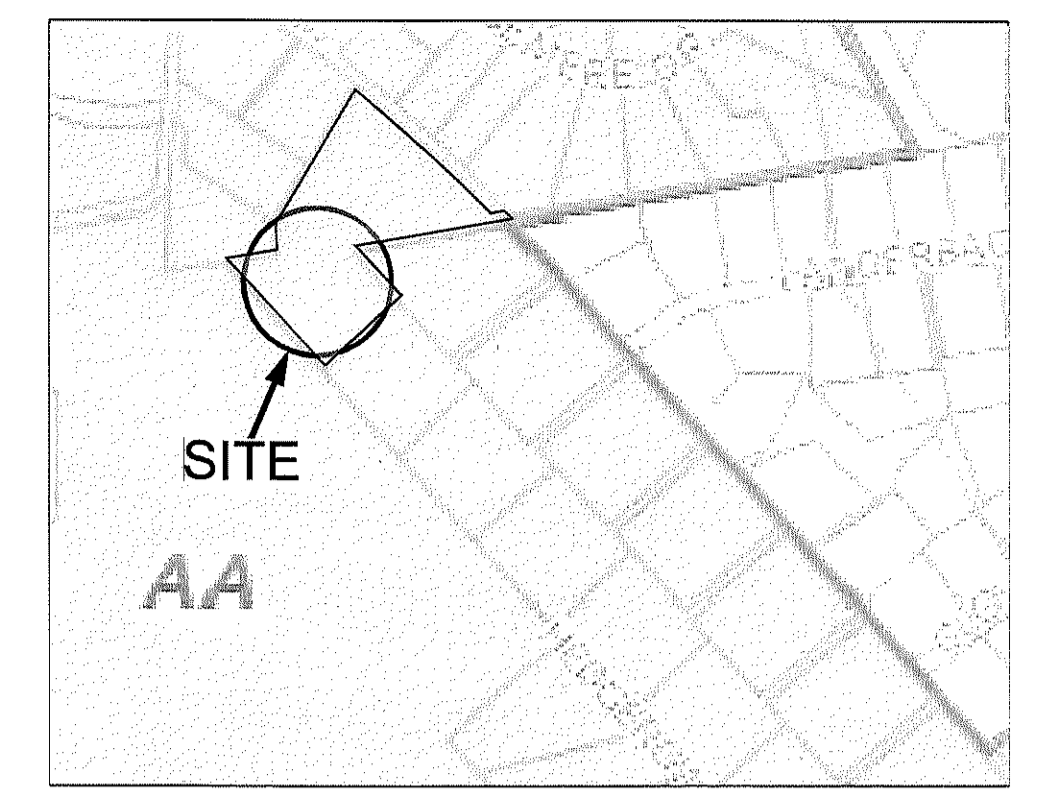
1958 BUTLER PIKE, SUITE 200  
CONSHOHOCKEN, PA 19328  
610.962.7373 | SCHOCKGROUP.COM



LOCATIONS OF EXISTING UTILITIES ON THIS PLAN HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITIES COMPANIES. ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION AND DEPTH OF ALL UTILITIES CANNOT BE GUARANTEED.  
CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES BEFORE STARTING ANY WORK. ALL AFFECTED UTILITY COMPANIES THROUGHOUT THE WORK SHALL BE NOTIFIED PRIOR TO THE START OF ANY WORK.

GRADING AND POST CONSTRUCTION STORMWATER MANAGEMENT PLAN  
GRADING PERMIT  
260 CHURCH ROAD  
EAST TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

REV.	DATE	DESCRIPTION
1		PAUL & RUTH STRID 260 CHURCH ROAD DEVON, PA 19333
2		DRF
3		1" = 20'
4		AUGUST 31, 2021
5		1192
6		2 OF 5



**ZONING DATA - AA ZONING DISTRICT:**

ITEM	REQUIREMENT	EXISTING	PROPOSED
NET LOT AREA	80,000 SF MIN.	203,771 SF NET	203,771 SF NET
LOT FRONTAGE AT BSL	150 FEET MIN.	254.5 FEET	254.5 FEET
*IMPERVIOUS AREA	13.5% MAX	13,256 S.F. (6.46%)	16,330 S.F. (7.95%)
FRONT YARD	75 FEET MIN.	109.91'	109.91'
REAR YARD	75 FEET MIN.	100.56'	299.14'
SIDE YARD	30 FEET MIN.	102.44'	75.00'
BUILDING HEIGHT	35 FEET MAX PRINCIPAL BLDG.	NA	28.32'
	20 FEET MAX ACCESS. BLDG.	NA	20.00'
ACCESSORY BUILDING	NOT ALLOWED IN FRONT OR SIDE SETBACK AREAS	NA	39.00'
	30' SETBACK IN REAR AREA	NA	39.00'

**EXISTING IMPERVIOUS SURFACES**

RESIDENCE	2,197 S.F.
PORCHES	339 S.F.
SHED	229 S.F.
DRIVEWAY	9,725 S.F.
WALKS & STEPS	252 S.F.
PATIOS	281 S.F.
WALLS	54 S.F.
GRAVEL	178 S.F.
TOTAL	13,256 S.F. (6.46%)

**PROPOSED IMPERVIOUS COVERAGE**

RESIDENCE	3,071 S.F.
PORCHES	96 S.F.
POOL HOUSE	229 S.F.
BARN	715 S.F.
DRIVEWAY	10,098 S.F.
WALKS & STEPS	444 S.F.
PATIOS	420 S.F.
POOL PATIO	952 S.F.
POOL COPING	240 S.F.
WALLS	208 S.F.
TOTAL	16,471 S.F. (7.95%)

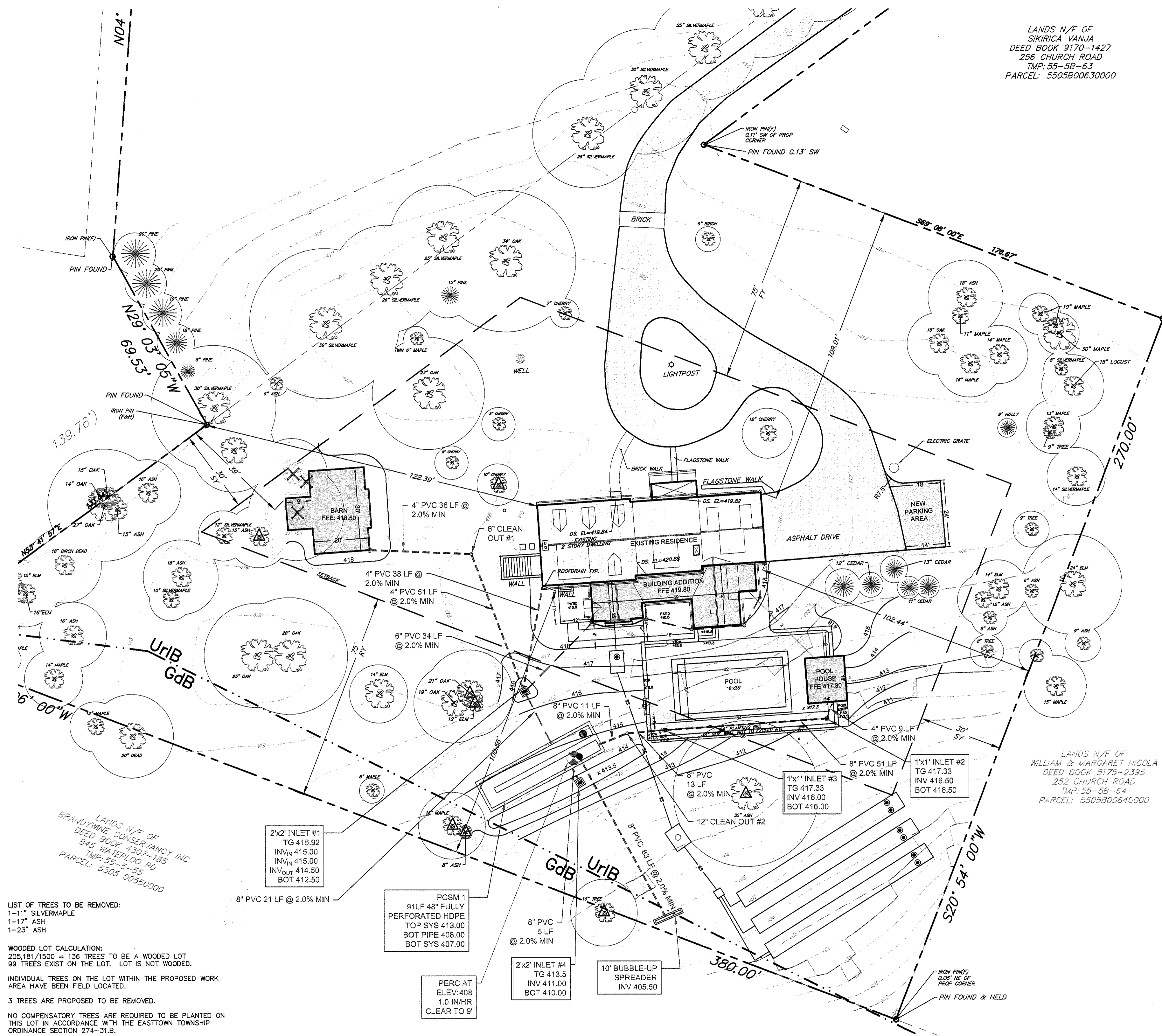
- GENERAL NOTES:**
- THE INTENT OF THIS PLAN IS TO DEPICT THE CONSTRUCTION OF AN ADDITION TO THE EXISTING RESIDENCE, NEW PATIO, NEW POOL, ADDITIONAL DRIVEWAY AREA AND ASSOCIATED IMPROVEMENTS.
  - THE EXISTENCE AND/OR LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
  - THE EXISTING SERVICE UTILITIES WITHIN THE LIMITS OF DISTURBANCE SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION.
  - THE RESPONSIBILITY OF THE CONTINUED MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT SYSTEMS AND OTHER FACILITIES SHALL BE THE OBLIGATION OF THE PROPERTY OWNER.
  - CLEANOUTS SHALL BE PLACED AT ALL GRADE CHANGES OR CHANGES IN ALIGNMENT OF THE RAIN WATER CONDUCTORS. RAIN WATER CONDUCTORS ARE TO COLLECT ALL ROOF RUNOFF AND CONVEY IT TO THE STORMWATER MANAGEMENT SYSTEMS. ROOF DRAINS AS SHOWN SHALL BE CONNECTED TO THE STORMWATER MANAGEMENT SYSTEM.
  - ALL EROSION CONTROL PROVISIONS FOR THE SUBDIVISION/COMMON IMPROVEMENTS AS LISTED IN THE APPROVED RUNOFF AND EROSION CONTROL PERMIT PLANS MUST BE IMPLEMENTED. NO MODIFICATIONS TO THAT PERMIT PLAN OR SEQUENCES AUTHORIZED EXCEPT AS SPECIFICALLY DEPICTED ON THIS PLAN SUBMISSION.
  - THE PROPERTY OWNER IS RESPONSIBLE FOR THE CONTINUED OPERATION AND MAINTENANCE OF THE ON-SITE STORMWATER COLLECTION FEATURES. MAINTENANCE RESPONSIBILITY OF THE STORMWATER DETENTION FACILITIES IS THAT OF THE HOMEOWNERS ASSOCIATION.
  - THE TOWNSHIP ENGINEER'S OFFICE SHALL BE NOTIFIED 48 HOURS PRIOR TO THE CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM AND PRIOR TO THE START OF EARTHMOVING ACTIVITIES.
  - THERE SHALL BE NO GRADE CHANGES WITHIN THREE (3') FEET OF THE PROPERTY LINE IN ORDER TO ENSURE TRANSITION TO THE GRADING ON THE ADJOINING PROPERTY.
  - THE ARCHITECTURAL PLANS MUST BE COORDINATED WITH AND MUST COMPLY WITH THE GRADING PROPOSED WITH THIS PERMIT PLAN.
  - THE GROUND IMMEDIATELY ADJACENT TO THE PROPOSED FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN FIVE (5%) PERCENT FOR A MINIMUM DISTANCE OF TEN (10') FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN TEN (10') FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF TWO (2%) PERCENT AWAY FROM THE BUILDING.
  - NEWLY GRADED SLOPES OF OVER 25% MUST BE STABILIZED WITH SOD OR JUTE NETTING AND SEED.
  - ALL WOODY VEGETATION TO BE RETAINED WITHIN TWENTY-FIVE FEET OF A BUILDING SITE OR DISTURBED AREA SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING PLACED AT THE DRIFTLINES. THE LOCATION OF THE TREE PROTECTION FENCE SHALL BE APPROVED BY THE TOWNSHIP ARBORIST.
  - GRADE CHANGES AROUND THE DRIFTLINES OF TREES TO BE RETAINED SHALL BE MINIMIZED. TREATMENT OF TREES PRIOR TO CONSTRUCTION TO PROTECT THE ROOT SYSTEM SHALL BE PERFORMED. THE TOWNSHIP ARBORIST MUST APPROVE THE PROCEDURE.
  - ALL DISTURBED ROOTS MUST BE CUT AS CLEANLY AS POSSIBLE. THE TRENCH MUST BE BACKFILLED AS QUICKLY AS POSSIBLE, AVOIDING COMPACTION. TREE LIMBS MUST BE CUT BACK IN PROPORTION TO THE ROOT AREA LOSS.
  - ON-SITE TREES TO BE SAVED SHALL BE PREPARED FOR CONSTRUCTION BY APPROPRIATE CROWN AND DEEP ROOTING FERTILIZATION AND PROTECTED BY APPROPRIATE FENCING PRIOR TO THE ISSUANCE OF AN EROSION CONTROL OR MINOR GRADING PERMIT. ALL TREES ARE TO BE DEEP ROOT FERTILIZED USING 16-32-16 SLOW RELEASE, WATER DISPERSIBLE @ 15 LBS. PER 100 GALLON OR EQUAL. THE TOWNSHIP ARBORIST SHALL APPROVE THE PROCEDURE.
  - SHOULD ANY TREES NOT SCHEDULED OR PERMITTED TO BE REMOVED BE IRREPARABLY DAMAGED DURING CONSTRUCTION AND DIE WITHIN EIGHTEEN (18) MONTHS OF THE CONCLUSION OF CONSTRUCTION ACTIVITIES, THOSE TREES WILL BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 101-9A(2).
  - GRADING AND EARTHMOVING OPERATIONS SHALL BE MINIMIZED DURING THE PERIOD FROM NOVEMBER 15 TO APRIL 1 WHEN RE-VEGETATION OF EXPOSED GROUND SURFACE IS DIFFICULT. MULCH, STRAW, STONE AND/OR SOD SHALL BE USED TO STABILIZE ALL AREAS DENuded DURING THIS TIME PERIOD.
  - THE MAXIMUM TIME OF EXPOSURE FOR BARE SOIL AREAS SHALL BE TWENTY (20) DAYS BEFORE STABILIZATION MEASURES ARE IMPLEMENTED.

**LINE TYPE LEGEND**

- PROPERTY LINE
- ADJOINER PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK
- CONCRETE EDGE
- ASPHALT EDGE
- BUILDING
- PROPOSED CURB
- PROPOSED CONCRETE
- EXISTING CURB TO REMAIN
- EXISTING ADJACENT BUILDING
- SOILS LINE
- Moderate Slopes 15 to 25%
- FENCE LINE
- OVERHEAD ELECTRIC
- ELECTRIC LINE
- GAS LINE
- TELECOM LINE
- WATER LINE
- SANITARY LINE
- EXISTING STORM PIPES
- EXISTING 1" CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED CONTOUR LINE
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVING
- PROPOSED WALKS/STEPS/PATIOS
- PROPOSED WALLS
- PROPOSED POOL

**SYMBOL LEGEND**

- TG TOP OF GRATE ELEV.
- INV. INVERT ELEVATION
- TW TOP OF WALL ELEV.
- BW BOTTOM OF WALL ELEV.
- TBC TOP BACK OF CURB ELEV.
- BC BOTTOM BACK OF CURB ELEV.
- IRON PIN
- CONCRETE MONUMENT
- SANITARY MANHOLE
- WATER VALVE
- BOLLARD
- CLEANOUT
- STORM MANHOLE
- AC UNIT
- ELECTRIC BOX
- FIRE HYDRANT
- FIRE VALVE
- GAS VALVE
- EVERGREEN TREE
- STORM INLET
- TELEPHONE BOX
- GAS METER
- ELECTRIC MANHOLE
- POSTED SIGN
- PARKING SPACE PAINT
- HANDICAP PARKING SPACE
- LIGHT POLE



**SOILS INFORMATION**

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH	DEPTH TO BEDROCK
GdB	GLADSTONE GRAVELLY LOAM	3 TO 8 PERCENT SLOPES	B	6.6+	6.6+
UrB	URBAN LAND-GLADSTONE COMPLEX	0 TO 8 PERCENT SLOPES	NOT RATED	6.6+	6.6+

**NOTES:** IF THE PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY, NO UNFORESEEN SOIL LIMITATIONS OR PROBLEMS ARE LIKELY. NEVERTHELESS, IF A PROBLEM DOES DEVELOP, THE DEVELOPER MUST TEMPORARILY SEED AND MULCH THE DISTURBED AREA. SUITABLE TOPSOIL SHALL BE IMPORTED TO SITE IF INADEQUATE QUANTITIES OF SUITABLE TOPSOIL EXIST ON SITE. ADEQUACY OF SOIL TO BE DETERMINED BY SITE GEOTECHNICAL ENGINEER IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS SHALL BE ADDED AS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SITE GEOTECHNICAL ENGINEER SHALL ALSO BE CONSULTED DURING WINTER GRADING OPERATIONS.

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS NOTICE FOR STOP AND CALL.  
PENNSYLVANIA ONE CALL SYSTEM INC.  
1-800-242-1776

**LIST OF TREES TO BE REMOVED:**  
1-11" SILVERMAPLE  
1-17" ASH  
1-23" ASH

**WOODED LOT CALCULATION:**  
205,181/1500 = 136 TREES TO BE A WOODED LOT  
99 TREES EXIST ON THE LOT. LOT IS NOT WOODED.

INDIVIDUAL TREES ON THE LOT WITHIN THE PROPOSED WORK AREA HAVE BEEN FIELD LOCATED.

3 TREES ARE PROPOSED TO BE REMOVED.

NO COMPENSATORY TREES ARE REQUIRED TO BE PLANTED ON THIS LOT IN ACCORDANCE WITH THE EAST TOWNSHIP ORDINANCE SECTION 274-31.B.

**CONSERVATION PLAN NOTES**

- THE INTENT OF THIS PLAN SET IS TO DEPICT THE CONSTRUCTION OF AN ADDITION TO A SINGLE FAMILY DWELLING, BARN, POOL, DRIVEWAY AND IMPROVEMENTS.
- THE SUBJECT SITE IS LOCATED WITHIN THE DARBY CREEK WATERSHED, CHAPTER 93 STREAM CLASSIFICATION: CWF. NO WETLANDS ARE LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION.
- ADJACENT PROPERTIES ARE ZONED RESIDENTIAL AND ARE CURRENTLY UTILIZED FOR RESIDENTIAL PURPOSES.

**STORMWATER SYSTEM NOTES:**

THE INTENT OF THE STORMWATER MANAGEMENT SYSTEM IS TO INFILTRATE THE INCREASE IN VOLUME FROM THE 2-YEAR 24-HOUR STORM PRE TO POST CONSTRUCTION. ADDITIONALLY THE SYSTEM IS DESIGNED TO MEET THE REQUIRED RUNOFF RATE REDUCTION OF THE 2-YEAR POST DEVELOPMENT STORM TO THE 1-YEAR PRE-DEVELOPMENT STORM AND STRAIGHT RATE CONTROL FOR ALL EVENTS ABOVE THE 2-YEAR STORM. SUPPORTING CALCULATIONS CAN BE FOUND IN THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT.

**GRADING & UTILITY PLAN**

**SITE DISTURBANCE CALCULATIONS:**

PROTECTED RESOURCE	AREA OF PROTECTED RESOURCE (SF)	MAXIMUM DISTURBANCE ALLOWANCE (%)	MAXIMUM AMOUNT OF PERMITTED DISTURBANCE (SF)	PROPOSED DISTURBANCE (SF)
FLOODPLAIN	0 SF	0%	0 SF	0 SF
WETLANDS	0 SF	0%	0 SF	0 SF
WATERCOURSES	0 SF	0%	0 SF	0 SF
RIPARIAN BUFFER	0 SF	0%	0 SF	0 SF
STEEP SLOPES 15% - 25% > 25%	2,820 SF 0 SF	50% 15%	1,410 SF 0 SF	984 SF 0 SF

